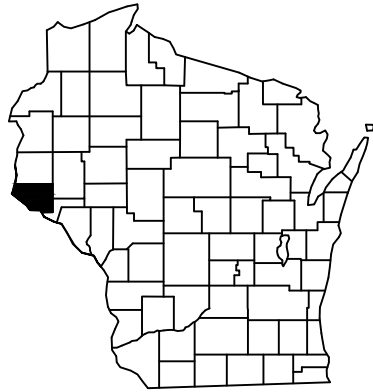


PIERCE COUNTY



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VICINITY MAP

MEADOWLARK ECO COTTAGES

ELLSWORTH III LLC

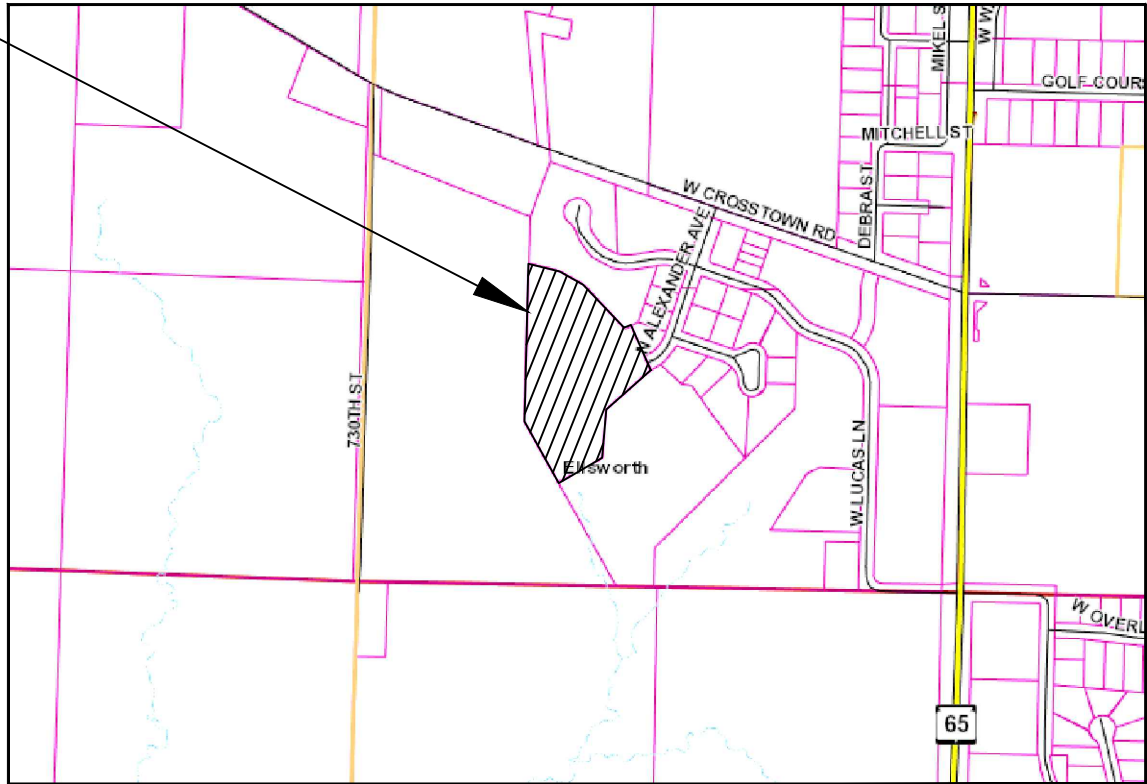
435 N. ALEXANDER AVENUE

ELLSWORTH, WI 54011

PROJECT LOCATION

CONTACTS

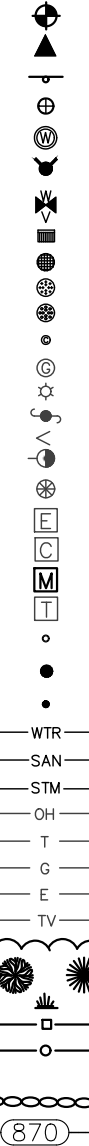
DIRECTOR OF PUBLIC WORKS	BRADLEY VICK 715.273.4742
STREET DEPT. FOREMAN	MICHAEL HUPPERT 715.273.4644
WATER	TIM RUNDLE – DEPARTMENT FOREMAN 715.273.4309
SANITARY	TIM RUNDLE – DEPARTMENT FOREMAN 715.273.4309
TELEPHONE	AT&T – BRIAN SCHOLZ 608.888.5555
CABLE	MIDCO 1.800.888.1300
GAS	WE ENERGIES – GARY HOVER 715.234.9609
ELECTRIC	PIERCE-PEPIN COOP XCEL ENGERGY 715.273.4355 1.800.895.4999
FIRE DEPT.	FIRE CHIEF – CHAD PETERSON 715.273.4653



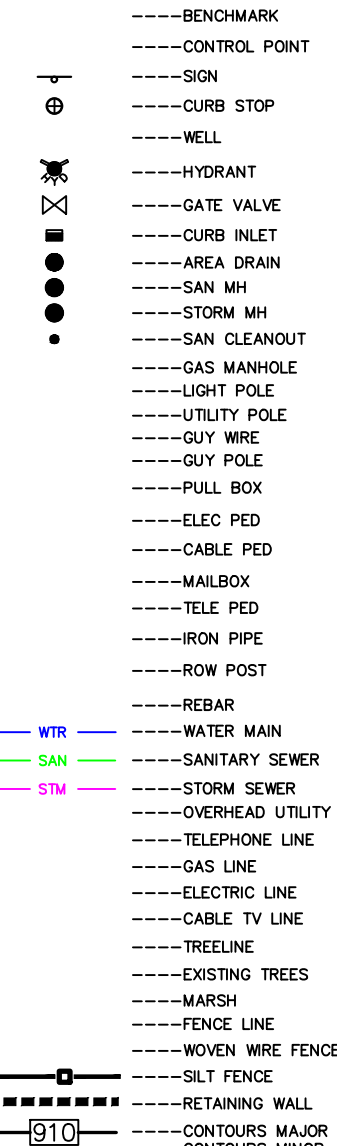
LOCATION MAP

LEGEND

EXISTING



PROPOSED



ABBREVIATIONS:
BC=BACK OF CURB
BLK=BLOCK NUMBER
BTM=BOTTOM (ELEV)
CL=CENTERLINE
CS=CURB STOP
ELEV=ELEVATION
EOP=EDGE OF PAVEMENT
EX=EXISTING
FES=FLARED END SECTION
FF=FINISHED FLOOR (ELEV)
FL=FLOWLINE
GF=GARAGE FLOOR (ELEV)
OVERHEAD DOOR
GLG=GROUND LINE GROOVE
HWL=HIGH WATER LEVEL
INV=INVERT
LF=LINEAR FEET
LO=LOOKOUT STYLE HOME
LT=LEFT
MIN=MINIMUM
NLW=NORMAL WATER LEVEL
PC=POINT OF CURVE
PRC=CURVE REVERSAL POINT
PT=POINT OF TANGENCY
RAD=RADIUS
RT=RIGHT
R/W=RIGHT OF WAY
SAN=SANITARY SEWER
SP=SPOT ELEVATION
SS=SAFETY SHELF (ELEV)
STA=STATION
STM=STORM SEWER
TC=TOP OF CURB
T.O.P.=TOP OF PIPE
TP=TOP OF PAVEMENT
TYP=TYPICAL
W=WATER FITTINGS
WTR=WATER
WM=WATERMAIN
WO=WALKOUT STYLE HOME

SHEET SCHEDULE

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	EROSION CONTROL PLAN
5	GRADING PLAN
6	UTILITY PLAN
7-8	DETAILS

AEC PROJECT #: 24005

PLANS DATED: AUGUST 2024

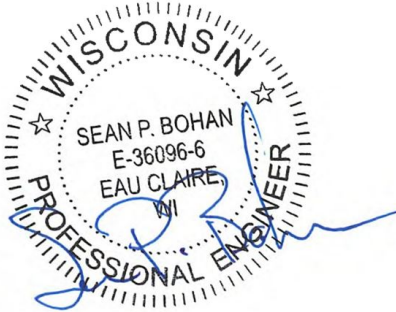


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PROJECT DEVELOPER/ CLIENT:
ELLSWORTH III, LLC
ATTN: PAUL A. GERRARD
100 NORTH 6TH STREET
LA CROSSE, WI 54601
PHONE: 608.792.5163
EMAIL: paul@gerrardcompanies.com

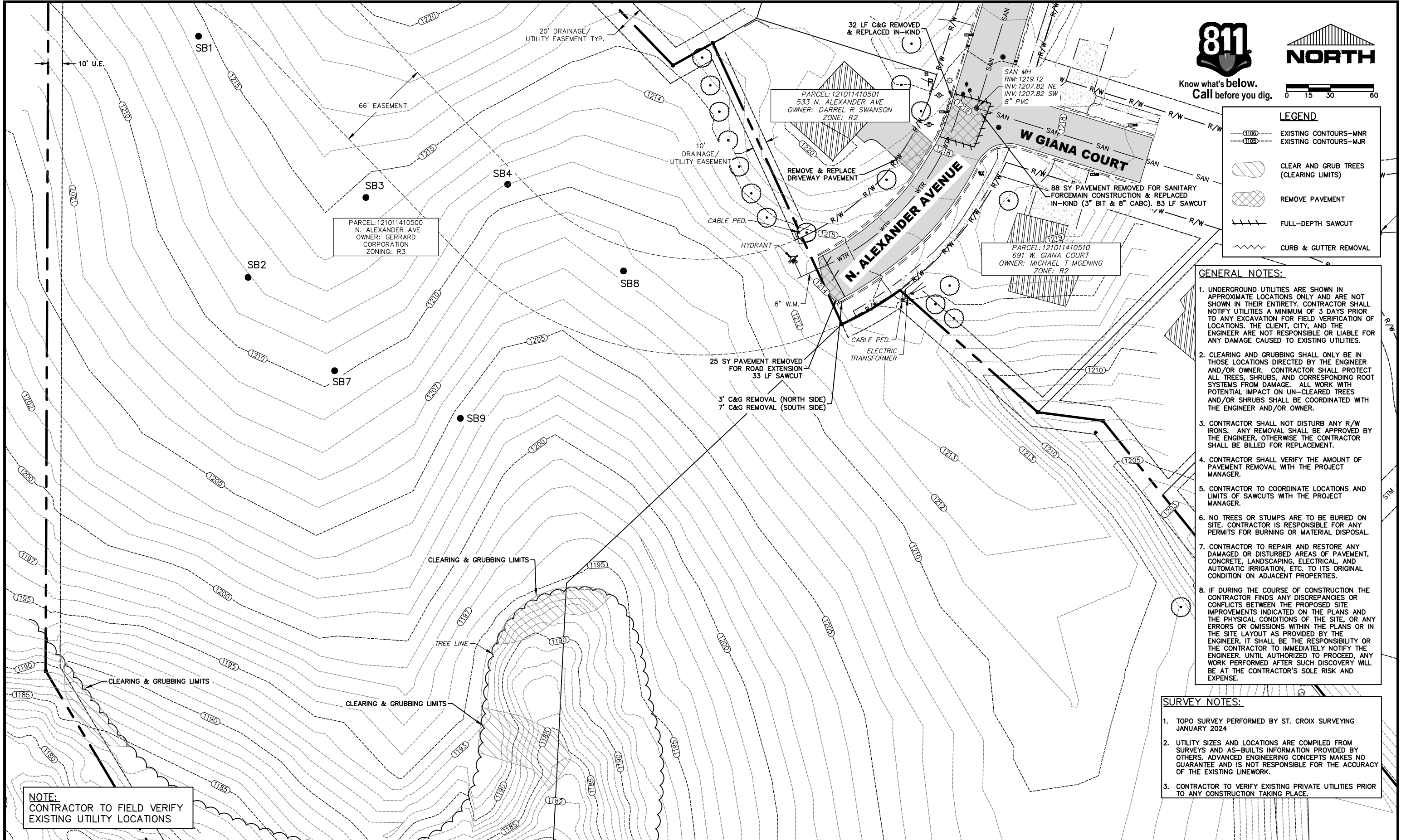
PROJECT ARCHITECT:
CORNERSTONE ARCHITECTS, LLC
ATTN: BRAD KORTBEIN
6154 SWEDEN BLVD
PUNTA GORDA, FL 33982
PHONE: 608.343.0211
EMAIL: bradkortbein@gmail.com

PROJECT ENGINEER:
ADVANCED ENGINEERING CONCEPTS
ATTN: SEAN BOHAN, P.E.
1360 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701
PHONE: 715.552.0330
EMAIL: sbohan@aec.engineering



SCHEDULE OF REQUIRED PERMITS

APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
VILLAGE OF ELLSWORTH SITE PLAN SUBMITTAL	07/03	07/08
WIDNR WRAPP PERMIT NOTICE OF INTENT		
DSPS – EXTERIOR PLUMBING PLAN REVIEW		



LEGEND	
	EXISTING CONTOURS-MNR
	EXISTING CONTOURS-MJR
	CLEAR AND GRUB TREES (CLEARING LIMITS)
	REMOVE PAVEMENT
	FULL-DEPTH SAWCUT
	CURB & GUTTER REMOVAL

- GENERAL NOTES:**
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 - CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
 - CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER. OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
 - CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
 - CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
 - NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
 - CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
 - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

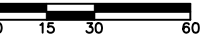
- SURVEY NOTES:**
- TOPO SURVEY PERFORMED BY ST. CROIX SURVEYING JANUARY 2024
 - UTILITY SIZES AND LOCATIONS ARE COMPILED FROM SURVEYS AND AS-BUILTS INFORMATION PROVIDED BY OTHERS. ADVANCED ENGINEERING CONCEPTS MAKES NO GUARANTEE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE EXISTING LINWORK.
 - CONTRACTOR TO VERIFY EXISTING PRIVATE UTILITIES PRIOR TO ANY CONSTRUCTION TAKING PLACE.

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

						PROJ. NO. 24005		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR EAU CLAIRE, WI 54701 PH: 715-552-0330 info@aec.engineering COPYRIGHT 2024 AEC LLC.	EXISTING CONDITIONS & DEMOLITION PLAN	MEADOWLARK ECO APARTMENTS ELLSWORTH III LLC 435 N. ALEXANDER AVENUE ELLSWORTH, WI	DWG NAME 24005 PG2 EXISTING	2 8
NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED						DATE 08/2024	



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MEADOWLARK ECO APARTMENTS
435 N. ALEXANDER AVE

ZONING:	R3
LOT SIZE:	331,757 SF (7.62 AC.)
EXISTING IMPERVIOUS AREA:	0.0-SF (0.0%)
PROPOSED USE:	MULTI-FAMILY (54 UNITS)
PROPOSED BUILDING:	33,588-SF (10.1%)
PROPOSED PAVEMENT:	21,089-SF (6.4%)
PROPOSED PATIO/SIDEWALK:	1,669-SF (0.5%)
OVERALL IMPERVIOUSNESS:	56,346-SF (17.0%)
GREEN SPACE:	275,411-SF (83.0%)
PARKING STALLS:	26 EXTERIOR STALLS (2 ADA) 86 INTERIOR STALLS (3 ADA) 112 TOTAL (7 ADA)

SETBACKS:
FRONT: 25'
SIDE: 10'
REAR: 25'

HATCHING LEGEND

	EXISTING CONCRETE PAVEMENT
	EXISTING BUILDING
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)

GENERAL NOTES:

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL NECESSARY THROUGHOUT THE PROJECT. COSTS FOR DUST CONTROL ARE INCIDENTAL TO PROJECT.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- PAINT LINE WORK ON ASPHALTIC PAVING, CONCRETE CURBS, WALKS, AND RAMPS SHALL BE FACTORY MIXED, QUICK DRYING, NON-BLEEDING TRAFFIC MARKING PAINT COMPLYING WITH AASHTO M248. TYPE COLOR SHALL BE WHITE, EXCEPT WHERE ANOTHER COLOR IS REQUIRED BY CODE. CONTRACTOR SHALL CLEAN SURFACE IN THE AREAS RECEIVING PAINT AND SHALL PAINT ALL MARKINGS AND SYMBOLS WITH TRAFFIC MARKING PAINT. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. CONTRACTOR SHALL APPLY TWO (2) COATS AT MANUFACTURER'S RECOMMENDED RATES.
- ALL TURF GRASS AREAS ARE TO BE RESTORED WITH A MIN. 4" OF SCREENED TOPSOIL; SEED & STRAW MULCH; 4" TOPSOIL, SEED & EROSION MAT OR 4" TOPSOIL AND SOD.

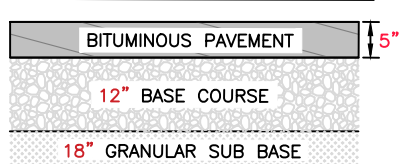
EDGE OF PAVEMENT/ FLOW LINE RADIUS KEY

A	3' RADIUS
B	4' RADIUS
C	5' RADIUS
D	15' RADIUS
E	30' RADIUS
F	54' RADIUS

SITE PLAN KEY NOTES

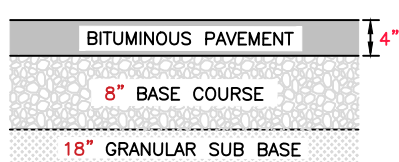
1	ACCESS TO DUMPSTER (9'W DOOR)
2	ACCESS TO GARAGE (18'W DOOR)
3	LIFT STATION
4	30" CURB & GUTTER DETAIL C-330
5	PAVEMENT FLUSH W/ S/W
6	CANOPY & CONC. STOOP (6' X 8')
7	RETAINING WALL BY OTHERS (HGT. VARIES) (BY STRUCTURAL)
8	5' X 5' CONCRETE STOOP
9	MATCH EXISTING
10	DUAL HANDICAP RAMP DETAIL C-434
11	BRICK PAVEMENT PATIO
12	SIDEWALK CURB DETAIL C-390
13	MOUNTABLE CURB DETAIL C-306

HEAVY DUTY PAVEMENT SECTION

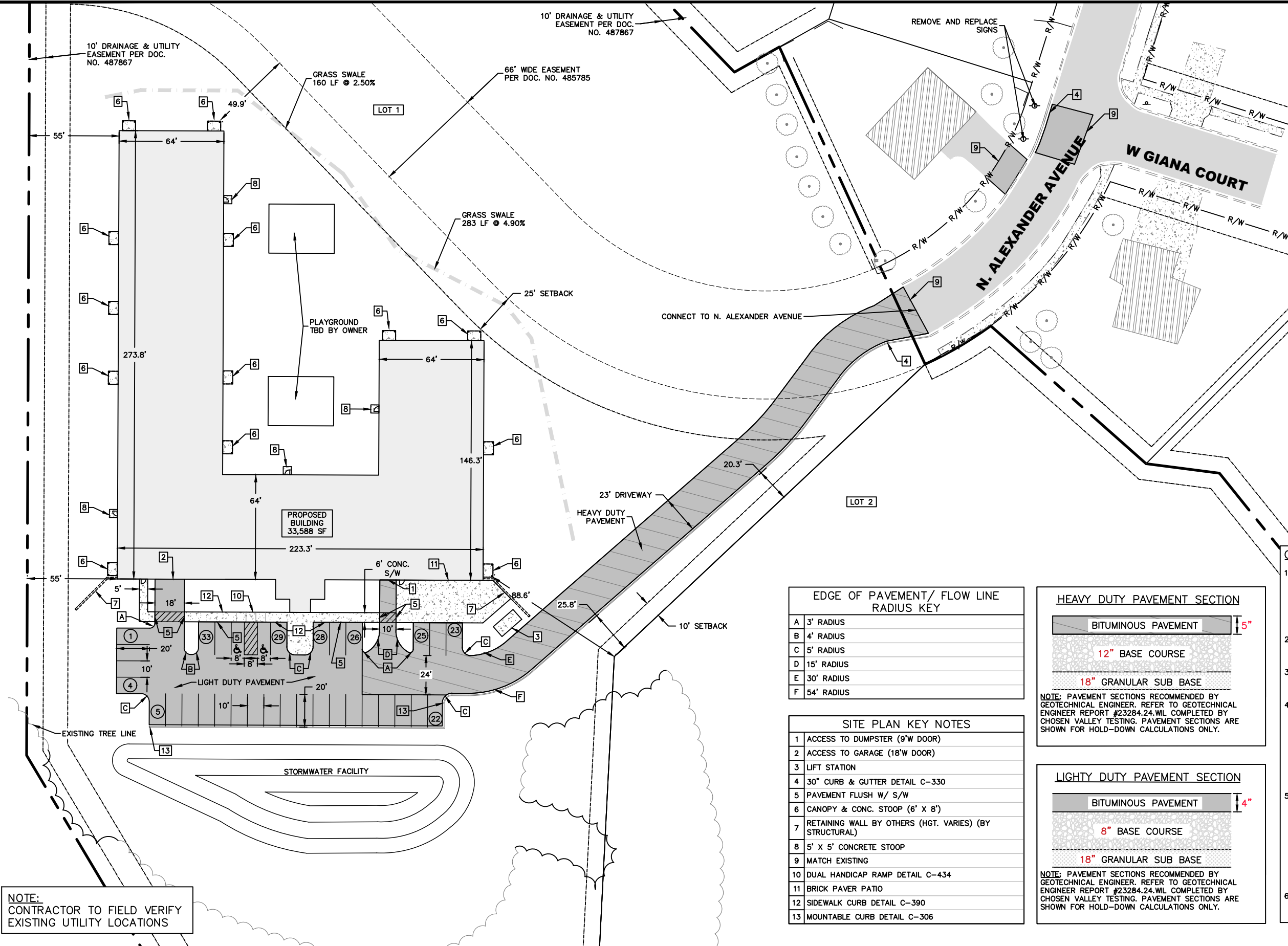


NOTE: PAVEMENT SECTIONS RECOMMENDED BY GEOTECHNICAL ENGINEER. REFER TO GEOTECHNICAL ENGINEER REPORT #23284.24.WIL COMPLETED BY CHOSEN VALLEY TESTING. PAVEMENT SECTIONS ARE SHOWN FOR HOLD-DOWN CALCULATIONS ONLY.

LIGHTY DUTY PAVEMENT SECTION



NOTE: PAVEMENT SECTIONS RECOMMENDED BY GEOTECHNICAL ENGINEER. REFER TO GEOTECHNICAL ENGINEER REPORT #23284.24.WIL COMPLETED BY CHOSEN VALLEY TESTING. PAVEMENT SECTIONS ARE SHOWN FOR HOLD-DOWN CALCULATIONS ONLY.



NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
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SITE PLAN

MEADOWLARK ECO APARTMENTS
ELLSWORTH III LLC
435 N. ALEXANDER AVENUE
ELLSWORTH, WI

DWG NAME
24005 PG3
SITE

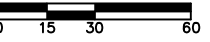
DATE
08/2024

3

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THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

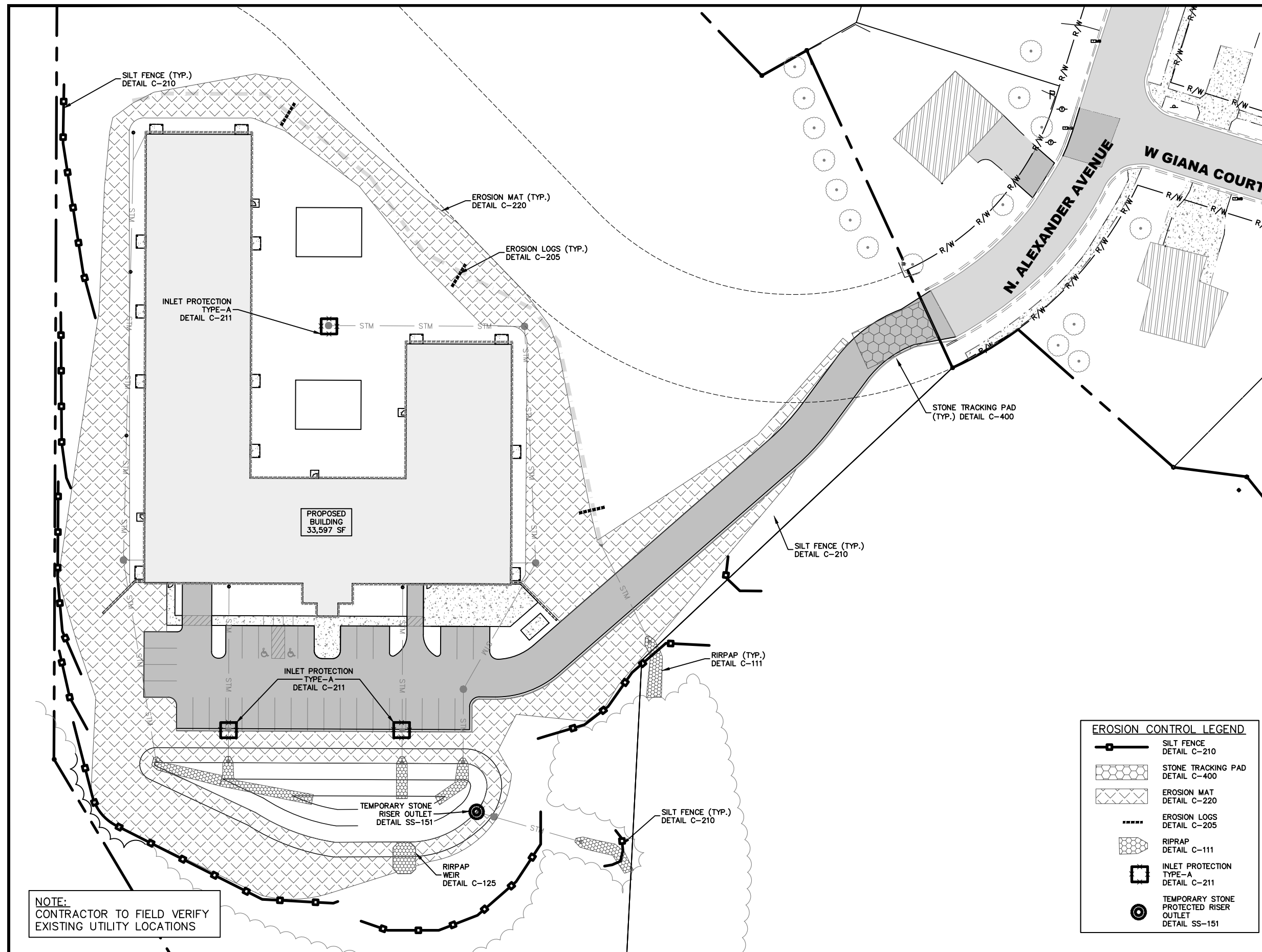
EROSION CONTROL NOTES:

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
8. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP #1063.
12. CONSTRUCT AND PROTECT THE BIORETENTION FILTER OR INFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION #1004.
13. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1005 REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
14. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
15. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
16. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
17. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
18. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
19. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY VILLAGE OF ELLSWORTH. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
20. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
21. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
22. COORDINATE WITH ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATION FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
23. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOTS WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
24. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOTS WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

EROSION CONTROL LEGEND

- SILT FENCE
DETAIL C-210
- STONE TRACKING PAD
DETAIL C-400
- EROSION MAT
DETAIL C-220
- EROSION LOGS
DETAIL C-205
- RIPRAP
DETAIL C-111
- INLET PROTECTION
TYPE-A
DETAIL C-211
- TEMPORARY STONE
PROTECTED RISER
OUTLET
DETAIL SS-151

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
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EROSION CONTROL PLAN

MEADOWLARK ECO APARTMENTS
ELLSWORTH III LLC
435 N. ALEXANDER AVENUE
ELLSWORTH, WI

DWG NAME
24005 PG4
EROSION

DATE
08/2024

4

8



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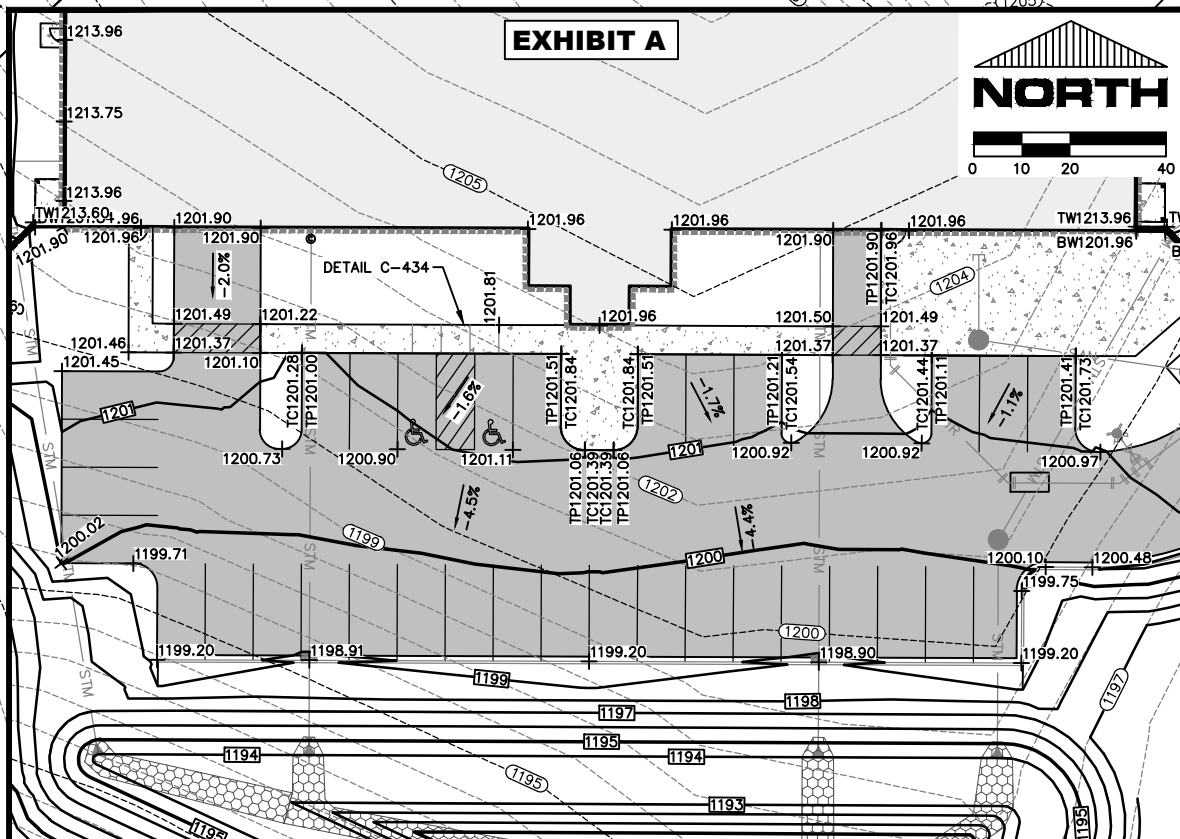
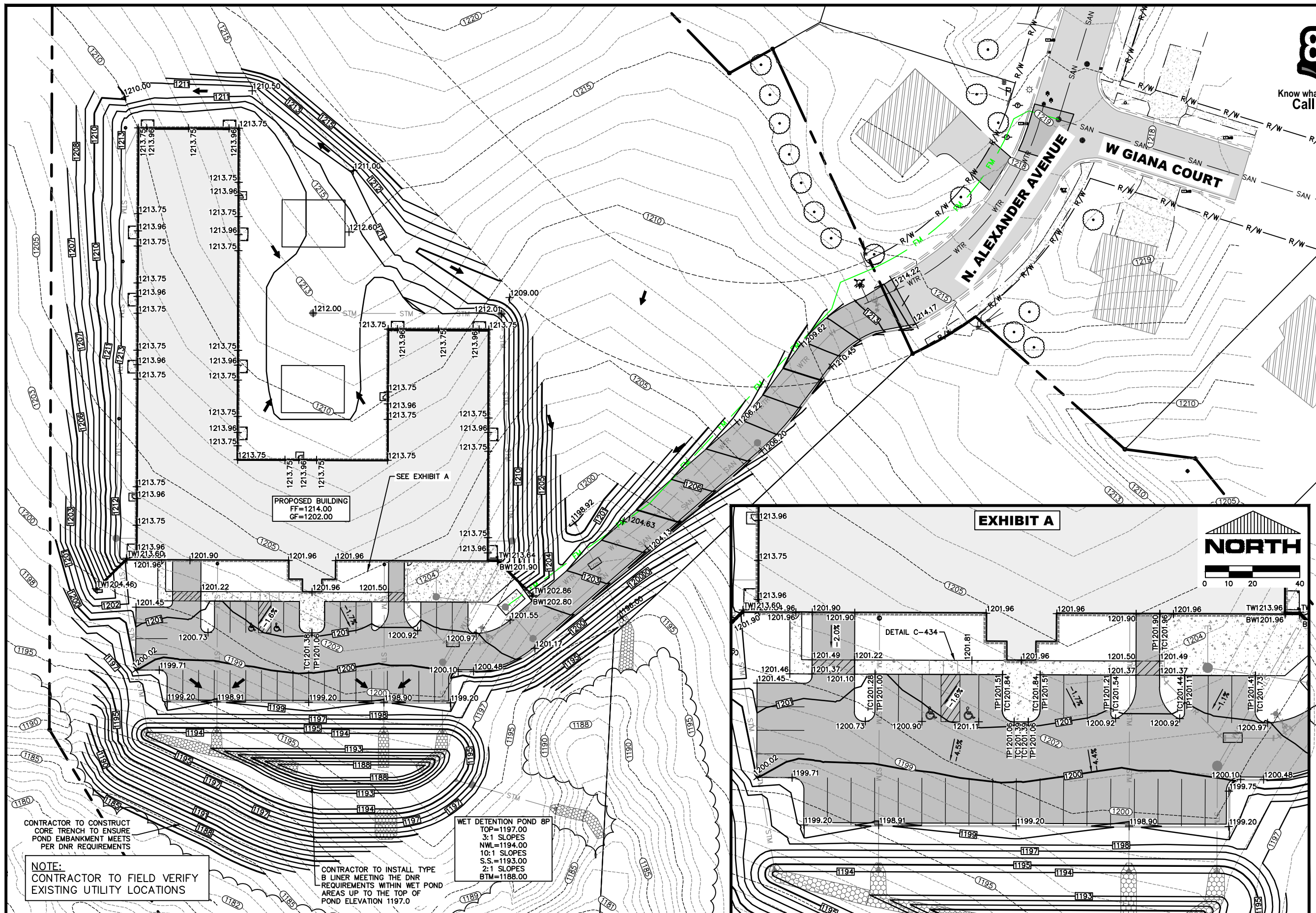
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GRADING PLAN LEGEND

- 1106 --- EXISTING CONTOURS-MNR
- 1105 --- EXISTING CONTOUR-MJR
- 651 --- FINAL CONTOUR-MJR
- 649 --- FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% --> PROPOSED DRAINAGE DIRECTION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.X± EXISTING SPOT ELEVATION
- FF FIRST FLOOR ELEVATION
- GF TOP OF PAVEMENT
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- TW TOP OF WALL ELEVATION
- BW GROUND AT TOE OF WALL

GRADING NOTES:

- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
- RECTANGLES REPRESENT BUILDING PAD LOCATIONS, NOT STRUCTURE DIMENSIONS OR POSITION. STRUCTURE PLACEMENT SHALL COMPLY WITH ALL APPLICABLE SETBACKS PER CITY CODE AND FINAL PLAT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
- PLACE EROSION MAT IMMEDIATELY AFTER GRADING. EROSION MAT TO REMAIN IN-PLACE UNTIL THE TIME THAT THE B.R.F. IS PROFESSIONALLY LANDSCAPED AND PLANTED. REPLACE MAT WITH LANDSCAPE MULCH OR NEW EROSION MAT.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.
- ALL TURF GRASS AREAS ARE TO BE RESTORED WITH A MIN. 4" OF SCREENED TOPSOIL, SEED & STRAW MULCH, 4" TOPSOIL, SEED & EROSION MAT OR 4" TOPSOIL AND SOD.
- USE CARE TO SECURE A UNIFORM GRADE. GRADES SHALL BE CAREFULLY CHECKED AND IRREGULARITIES REPORTED TO ENGINEER. DEVIATION FROM ESTABLISHED LINES AND GRADES SHALL BE CAUSE FOR REJECTION OF WORK.



CONTRACTOR TO CONSTRUCT CORE TRENCH TO ENSURE POND EMBANKMENT MEETS PER DNR REQUIREMENTS

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

CONTRACTOR TO INSTALL TYPE B LINER MEETING THE DNR REQUIREMENTS WITHIN WET POND AREAS UP TO THE TOP OF POND ELEVATION 1197.0

WET DETENTION POND 8P
TOP=1197.00
3:1 SLOPES
NWL=1194.00
10:1 SLOPES
S.S.=1193.00
2:1 SLOPES
BTM=1188.00

PROJ. NO.
24005



ADVANCED ENGINEERING CONCEPTS
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GRADING PLAN

MEADOWLARK ECO APARTMENTS
ELLSWORTH III LLC
435 N. ALEXANDER AVENUE
ELLSWORTH, WI

DWG NAME
24005 PG5
GRADING
DATE
08/2024

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Know what's below.
Call before you dig.

UTILITY NOTES:

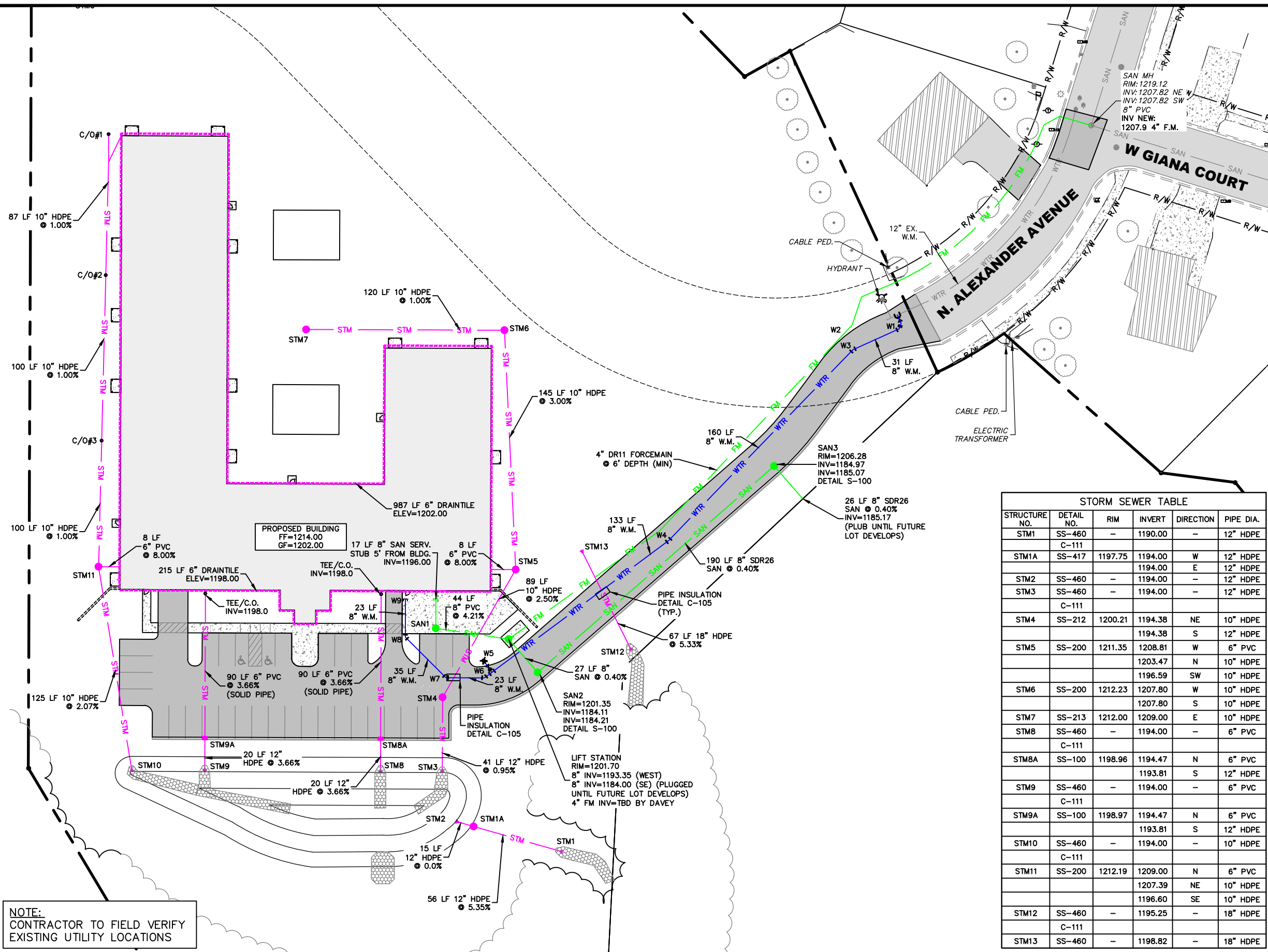
1. STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
2. MANHOLES ARE 48" UNLESS OTHERWISE NOTED.
3. ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
4. MAINTAIN A MINIMUM 7.5' WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED ACCORDING TO VILLAGE OF ELLSWORTH. REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATION. CONTACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
5. 12" CLEARANCE WHEN WATERMAIN GOES OVER SANITARY, WATERMAIN, OR STORM SEWER & 18" SEPARATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
6. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
7. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
8. SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF $\frac{1}{8}$ " PER FOOT FOR ALL 6-INCH PIPE (700 DFL'S).
9. CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FIXTURE UNITS (DFU'S) AND PIPE SIZES WITH THE PLUMBING PLANS.
10. SANITARY SEWER SERVICE SHALL BE PVC (SDR 35).
11. WATER SERVICE SHALL BE 8" I.D. PVC, D.I., OR APPROVED EQUAL.
12. STORM SEWER SHALL BE ADS N-12 WT IB PIPE OR PRINSCO GOLDFLO WT OR SDR35 PVC OR APPROVED EQUAL.
13. THE PIPE DIAMETER'S LISTED ARE THE NOMINAL INSIDE DIAMETER.
14. THE VERTICAL DOWN SPOUT CONNECTIONS ARE TO BE 6" SCH40 PVC.
15. SAN. SERVICE WYE LOCATION IS REFERENCED FROM THE DOWN STREAM MANHOLE.
16. PLACE EROSION MAT IMMEDIATELY AFTER GRADING. EROSION MAT TO REMAIN IN-PLACE UNTIL THE TIME THAT THE B.R.F. IS PROFESSIONALLY LANDSCAPED AND PLANTED. REPLACE MAT WITH LANDSCAPE MULCH OR NEW EROSION MAT.

STORM SEWER TABLE					
STRUCTURE NO.	DETAIL NO.	RIM	INVERT	DIRECTION	PIPE DIA.
STM1	SS-460	-	1190.00	-	12" HDPE
	C-111				
STM1A	SS-417	1197.75	1194.00	W	12" HDPE
			1194.00	E	12" HDPE
STM2	SS-460	-	1194.00	-	12" HDPE
STM3	SS-460	-	1194.00	-	12" HDPE
	C-111				
STM4	SS-212	1200.21	1194.38	NE	10" HDPE
			1194.38	S	12" HDPE
STM5	SS-200	1211.35	1208.81	W	6" PVC
			1203.47	N	10" HDPE
			1196.59	SW	10" HDPE
STM6	SS-200	1212.23	1207.80	W	10" HDPE
			1207.80	S	10" HDPE
STM7	SS-213	1212.00	1209.00	E	10" HDPE
STM8	SS-460	-	1194.00	-	6" PVC
	C-111				
STM8A	SS-100	1198.96	1194.47	N	6" PVC
			1193.81	S	12" HDPE
STM9	SS-460	-	1194.00	-	6" PVC
	C-111				
STM9A	SS-100	1198.97	1194.47	N	6" PVC
			1193.81	S	12" HDPE
STM10	SS-460	-	1194.00	-	10" HDPE
	C-111				
STM11	SS-200	1212.19	1209.00	N	6" PVC
			1207.39	NE	10" HDPE
			1196.60	SE	10" HDPE
STM12	SS-460	-	1195.25	-	18" HDPE
	C-111				
STM13	SS-460	-	1198.82	-	18" HDPE

STORM CLEANOUT TABLE			
STRUCTURE NO.	DETAIL NO.	INVERT	PIPE DIA.
CO#1	S-206	1210.00	10" STM
CO#2	S-206	1209.13	10" STM
CO#3	S-206	1208.13	10" STM

WATERMAIN TABLE	
FITTING	DETAIL/DESCRIPTION
W1	CONNECT TO EX. 12" WTR MAIN
	8" X 12" REDUCER
	8" V&B (N)
W2	8" 45° BEND
W3	8" 22.5° BEND
W4	8" 11.25° BEND
W5	HYDRANT PACKAGE: G.L.G.=1201.16
	9-LF 6" LEAD
W6	8" 45° BEND
W7	8" 45° BEND
W8	8" 45° BEND
W9	STUB 8" MAIN 5' FROM BLDG.

SANITARY SEWER TABLE					
STRUCTURE NO.	DETAIL NO.	RIM	INVERT	DIRECTION	PIPE DIA.
SAN1	S-100	1201.61	1194.95	N	8"
			1194.85	SE	8"



NOTE:
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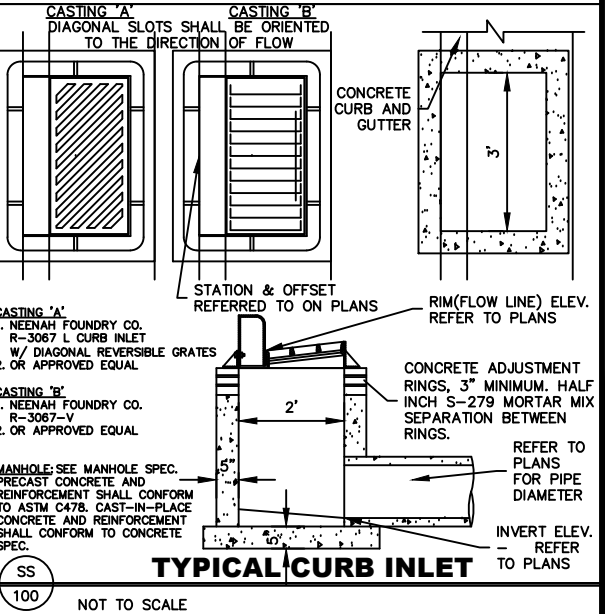
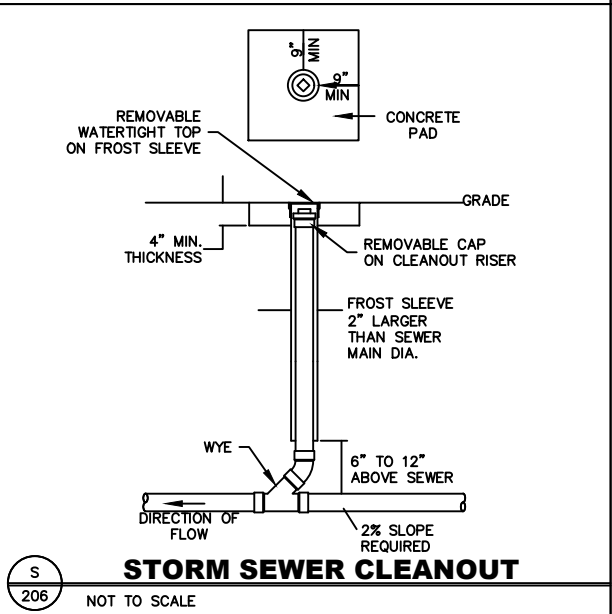
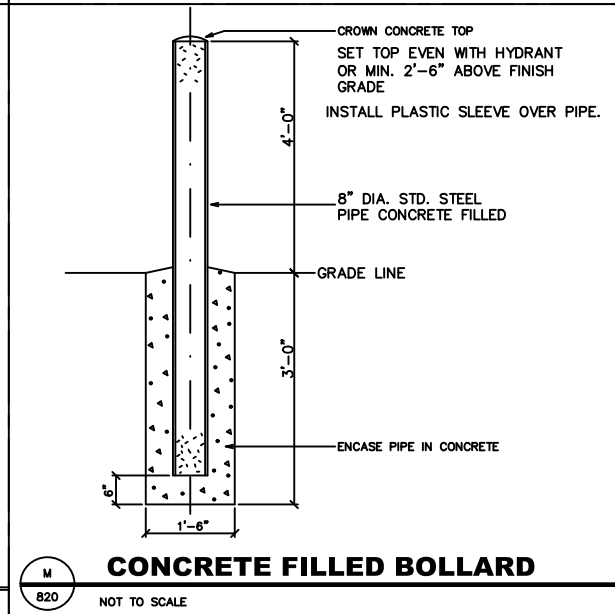
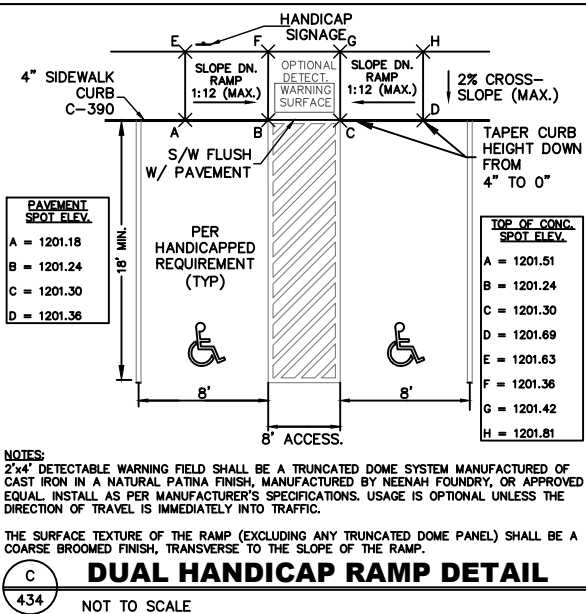
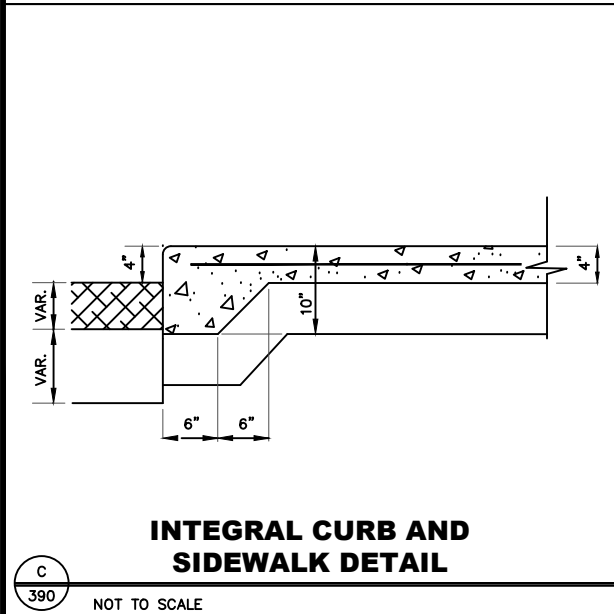
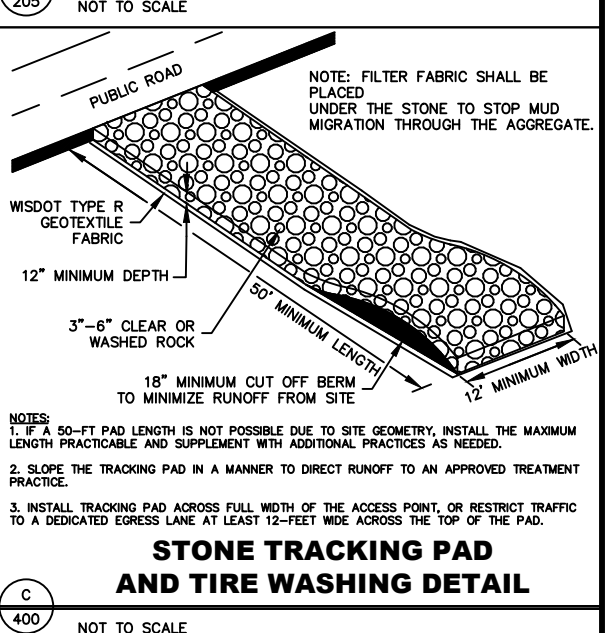
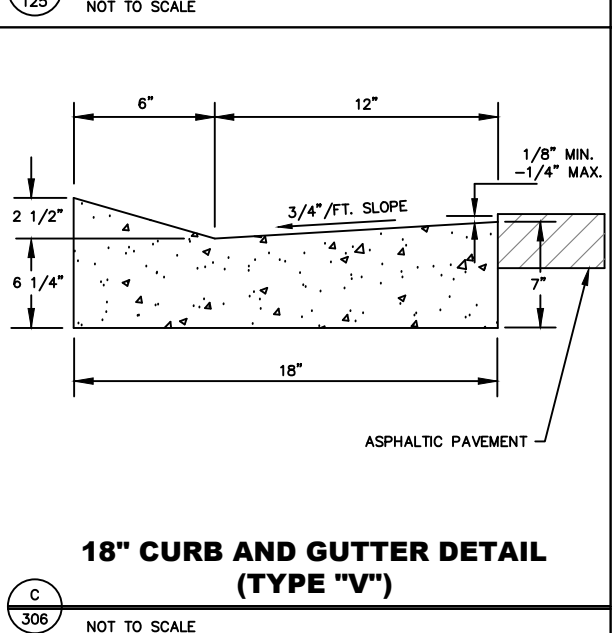
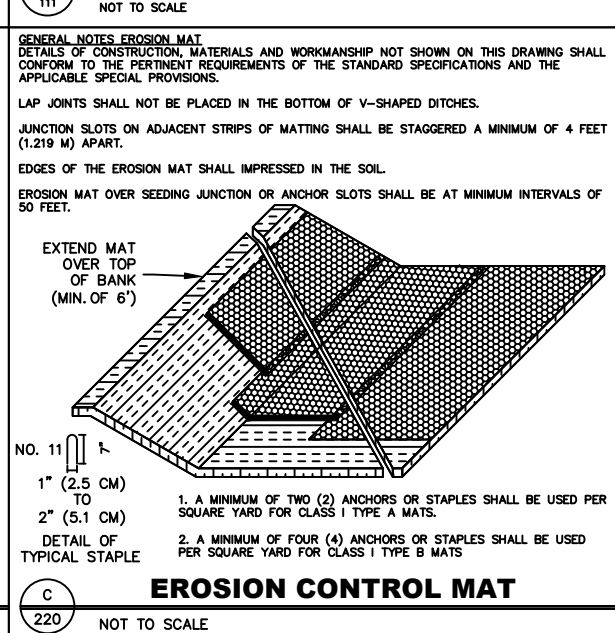
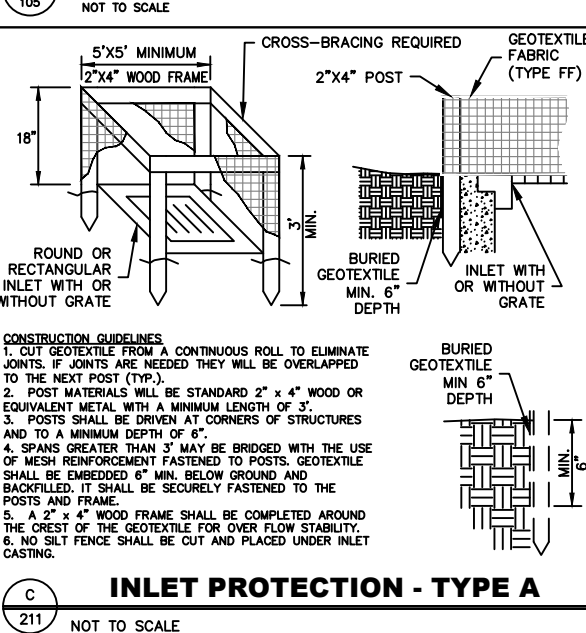
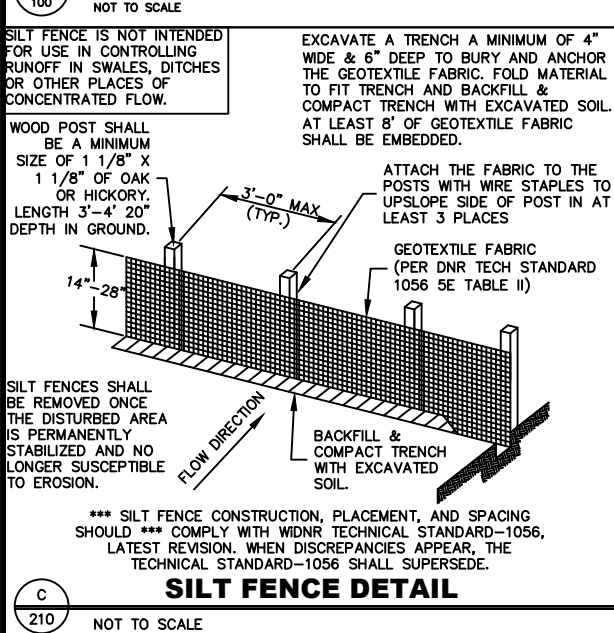
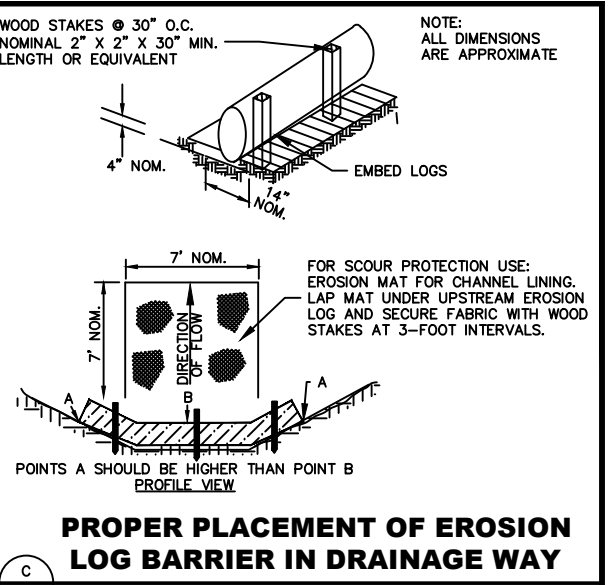
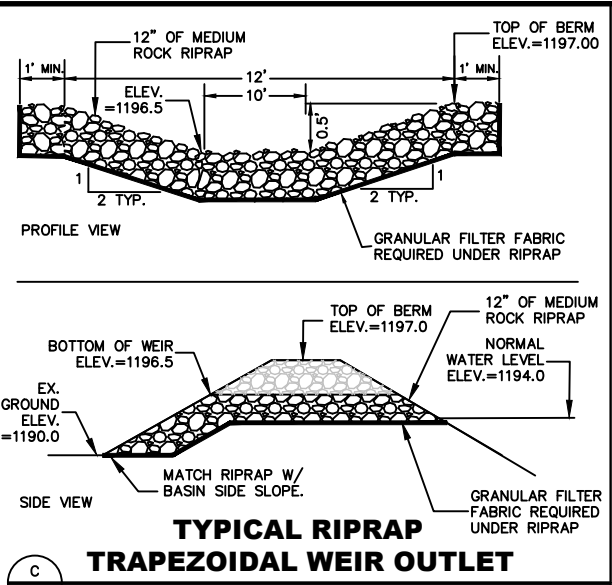
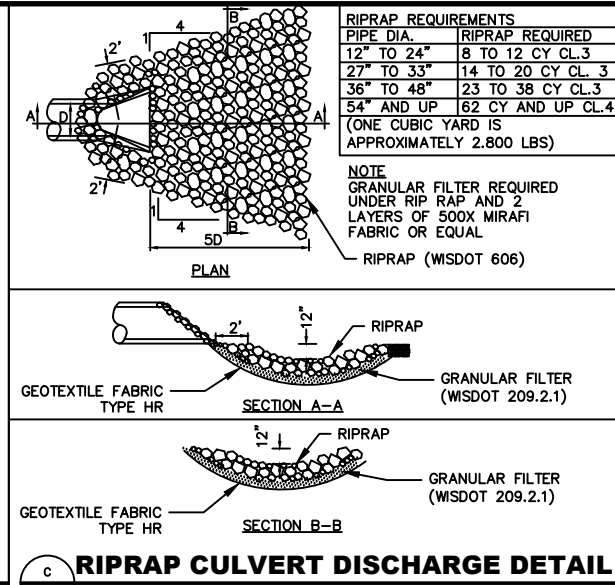
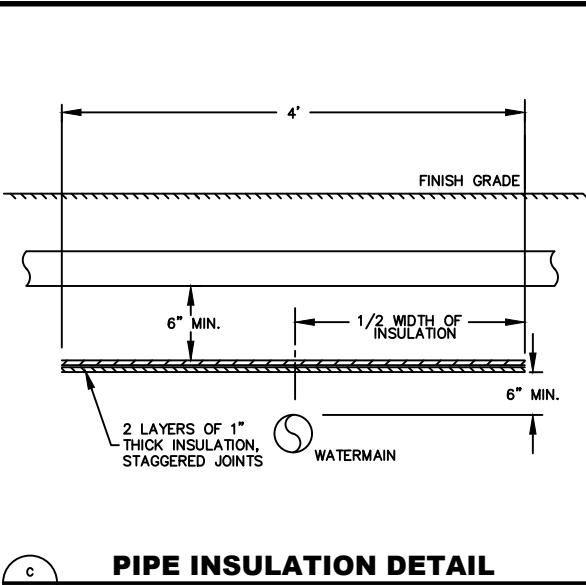
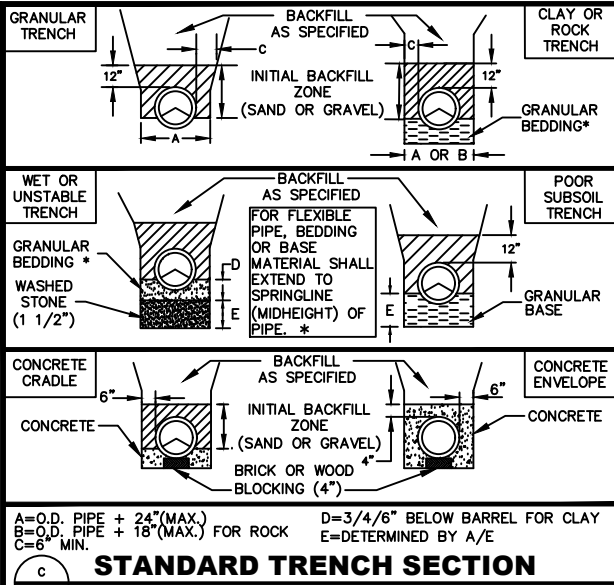
UTILITY PLAN

MEADOWLARK ECO APARTMENTS
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UTILITY

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