

Autumn Woods Residential Development

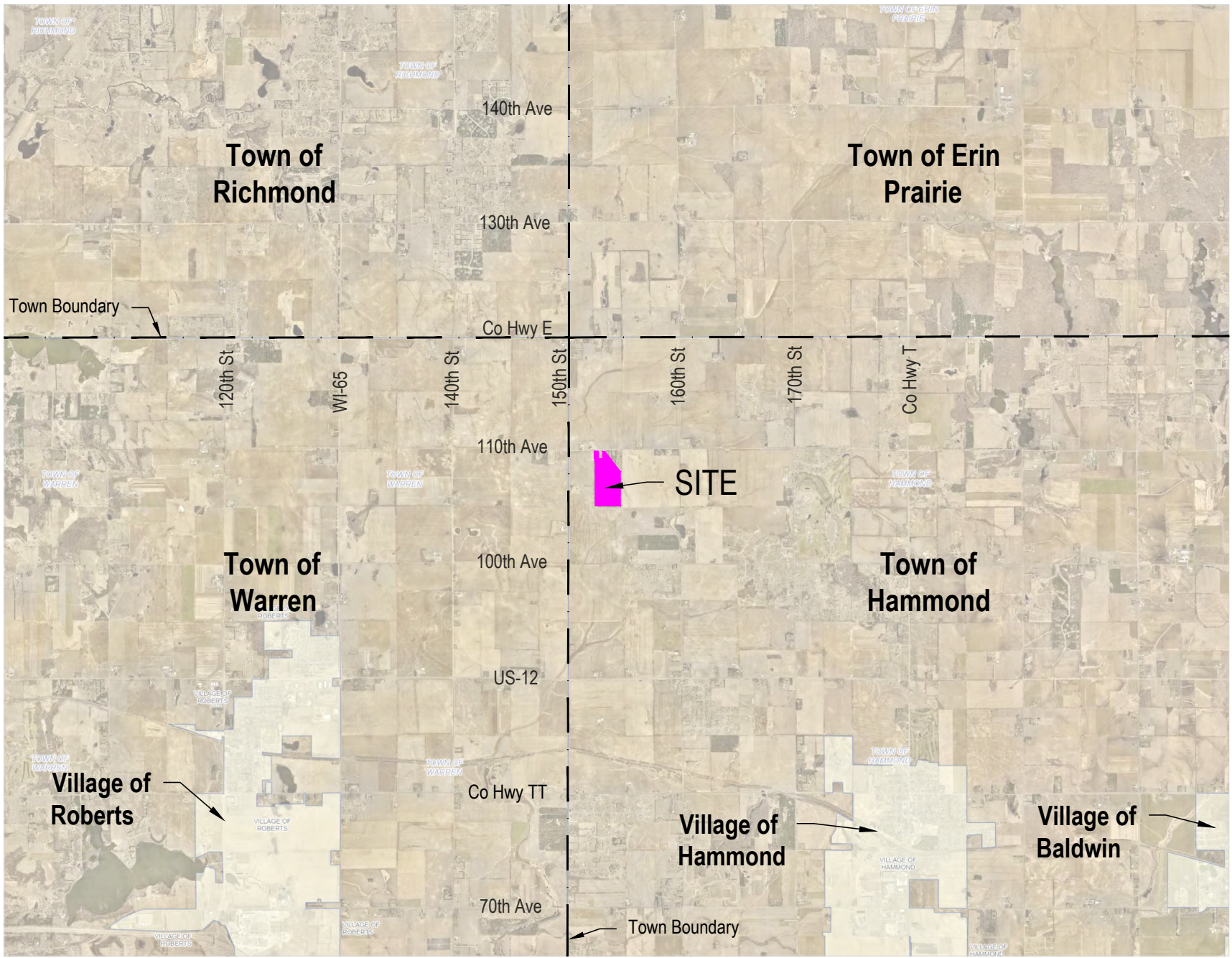
Town of Hammond, WI St. Croix County

Town & County Review February 10, 2025

GENERAL NOTES

- Wisconsin state statute requires notification per "Diggers Hotline" prior to commencing any grading, excavations or underground work.
- The contractor shall field verify locations and elevations of existing utilities and topographic features prior to commencement of construction activity. The contractor shall notify the engineer of any discrepancies or variations from the plans.
- The contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phase of this project. The contractor will be held responsible for any damages to adjacent properties occurring during the construction phase of this project.
- The contractor will be responsible for providing and maintaining traffic control devices such as barricades, warning signs, directional signs, flagman and lights to control the movement of traffic where necessary. Placement of these devices shall be approved by the engineer prior to placement. Traffic control devices shall conform to the appropriate WI Department of Transportation Standards.
- In accordance with generally accepted construction practices, the contractor will be solely and completely responsible for the conditions on the job site, including safety for all persons and property during the performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- The duty of the engineer or developer to conduct construction review of the contractors performance is not intended to include review of the adequacy of the contractors safety measures in, or near the construction site.
- Before beginning construction the contractor shall install erosion and sedimentation control measures in accordance with WPDES permit requirements, best management practices, state and local requirements and the details shown on the detail sheet(s) of the project plan set.
- All construction permits, applications and fees are the responsibility of the contractor.
- All entrance and connections to Town or County streets shall be constructed per the requirements of the state and local jurisdictions. The contractor shall be responsible for all permits and notifications as required.
- All street repairs and patching shall be performed per the requirements of the Town and County. All traffic control shall be provided by the contractor and shall be established per the requirements the WI manual of uniform traffic control devices and the Town or County. This shall include all signage, barricades, flashers and flaggers as needed. All public streets shall be open to traffic at all times.
- Adjust all existing structures, both public and private to the proposed grades where disturbed and comply with all requirements of the utility owners. Structures being reset to paved areas must meet owners requirements for traffic loading.
- Existing conditions topographic survey provided by others.
- There is no OHWL elevation or floodplain elevation established for this section of the Kinnickinnic River.

VICINITY MAP



LEGAL DESCRIPTION

Located In the SE1/4 of the fractional NW1/4, in part of the NE1/4 of the fractional NW1/4, and part of the fractional NW1/4 of the NW1/4 of Section 7, T29N, R17W, Town of Hammond, St. Croix County, Wisconsin, further described as follows:

Commencing at the N1/4 corner of said Section 7; thence S89°08'18"W 945.21' along the North line of the fractional NW1/4 said Section 7 to the Point of Beginning of the lands to be described herein; thence continuing S89°08'18"W along said North line 166.28' to the East line of lot 1 of Certified Survey Map recorded in Volume 7, Page 1858 in the St. Croix County Register Of Deeds Office; thence S01°02'12"E 425.00' along said East line to the South line of said lot 1; thence S89°08'18"W 170.00' along the South line of said lot 1 to the West line of said lot; thence N01°02'12"W 425.00' to said North line of the fractional NW1/4; thence S89°08'18"W 148.38' along said North line; thence S00°22'06"E 425.01' to a found 0.75" iron rebar; thence S45°36'54"E 185.88' to a found 0.75" iron rebar on the West line of the E1/2 of the fractional NW1/4; thence S00°22'06"E 2081.84' along said West line to the East - West Quarter Section Line of said Section 7; thence N89°20'37"E 1306.39' along said East - West1/4 Section Line to the North - South1/4 Section Line; thence N00°33'14"W 1473.15' along said North - South1/4 Section Line to a found 1" outside diameter iron pipe; thence N47°30'20"W 677.76' to a found 1.3" outside diameter iron pipe; thence N00°32'39"W 145.00' to a found 1.3" outside diameter iron pipe; thence N42°40'29"W 80.50' to a found 1.3" outside diameter iron pipe; thence S89°08'09"W 50.00' to a found 1.3" outside diameter iron pipe; thence N35°19'51"W 606.50' to the North line of the fractional NW1/4 and the Point of Beginning. This description contains 2,827,132 square feet (64.90 Acres) more or less and is subject to any easements, restrictions or covenants of record.

WARNING

The contractor shall be responsible for calling for locations of all existing utilities. They shall cooperate with all utility companies in maintaining their service and / or relocation of lines

The contractor shall contact "Diggers Hotline" at least 48 hours in advance for the locations for all underground wires, cables, conduits, pipes, manholes, valves or other buried structures before digging. The contractor shall repair or replace the above when damaged during construction at no cost to the owner.

SHEET INDEX & SUBMITTALS

	12.31.2024	01.31.2025	02.10.2025
C0.0 - Title Sheet	X	X	X
C1.0 - Existing Conditions & Removals	X	X	X
C2.0 - Preliminary Plat	X	X	X
C2.1 - Site Plan	X	X	X
C3.0 - Grading Plan	X	X	X
C3.1 - Enlarged Grading, Erosion, & Storm Plan		X	X
C3.2 - Enlarged Grading, Erosion, & Storm Plan		X	X
C3.3 - Enlarged Grading, Erosion, & Storm Plan		X	X
C7.0 - Civil Details	X	X	X
C7.1 - Civil Details	X	X	X
C7.2 - Civil Details	X	X	X
L2.0 - Landscape Plan	X	X	X
L7.0 - Landscape Details	X	X	X

PROJECT CONTACTS

OWNER	Autumn Woods, LLC P.O. Box 9 Roberts, WI 54023	Cole Sutheimer 715-760-0867 colesutheimer@gmail.com
CIVIL ENGINEER	Land & Resource Consulting 14260 23rd Ave N Plymouth, MN 55447	Randy Hedlund 651-398-3586 RandyH@landandresource.com
SURVEY	G&S Land Solutions Survey 1428 134th Avenue New Richmond, WI 54017	Joseph Granberg 715-246-7529 joe@gslandsolutions.com

DRAWINGS BY



DRAWINGS FOR

Cole Sutheimer

P.O. Box 9
Roberts, WI 54023
Phone: 715-760-0867

PROJECT

Autumn Woods

Town of Hammond, WI
St. Croix County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer in the laws of the State of Minnesota.

RAJAT C. HEDLUND
WI License No. E-33710

Date: _____

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Bid Set	12-31-2024
Preliminary Plat Application	01-31-2025
Town & County Review	02-10-2025

SUBMITTAL INFO

Review By: RCH
Project # : 24018
Submittal Date: 02-10-2025
Submittal Phase: Town & County Review

SHEET TITLE

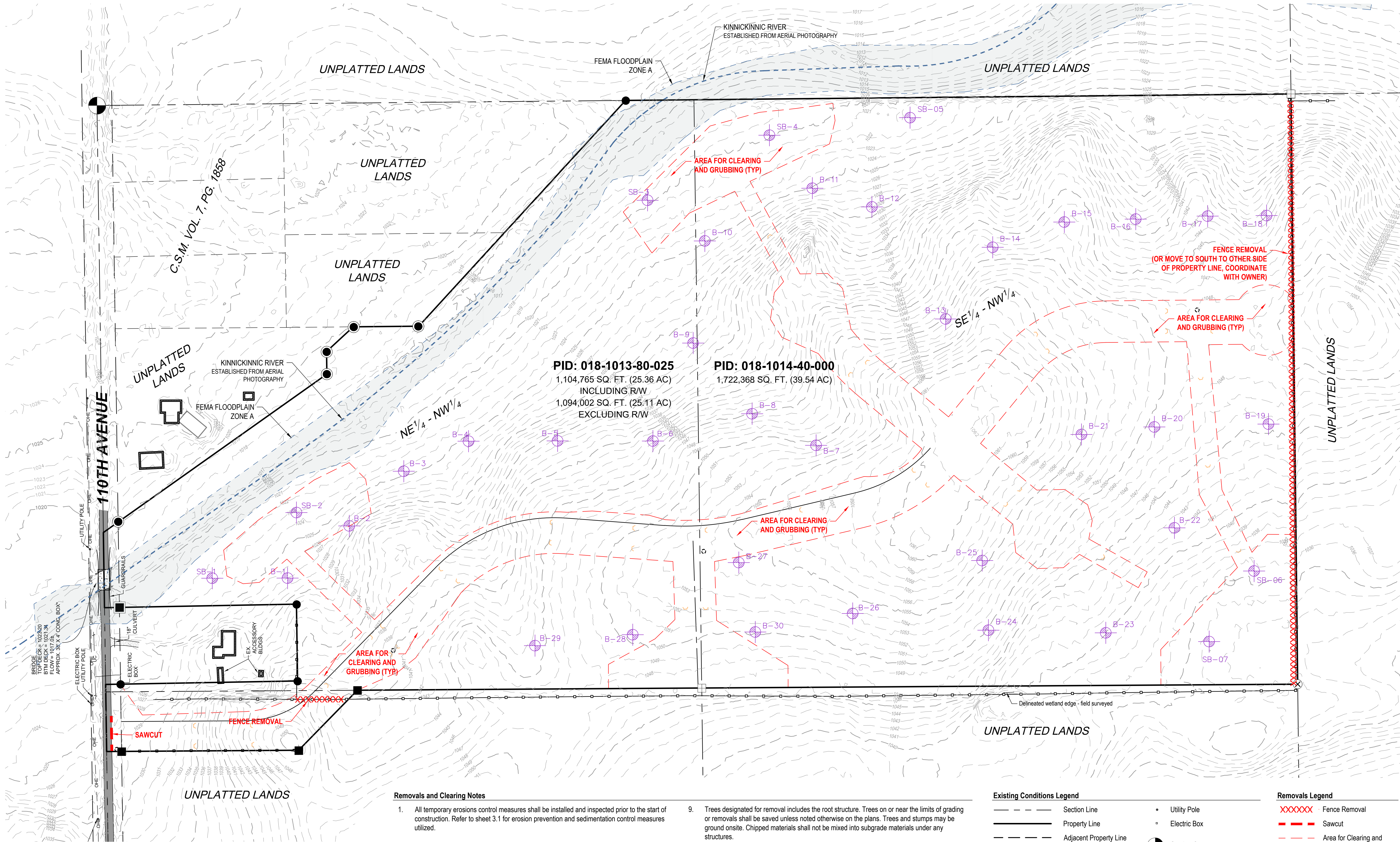
**Civil &
Landscape
Title Sheet**

SHEET NUMBER

C0.0

Copyright Land & Resource Consulting

Drawings: 142260 23rd Ave N, Autumn Woods, Hammond, WI
Drawing: 24018
Date: Feb 02, 2025, 3:10pm
X-Hot Draw: 24018, Boring.mxd
X-Hot Draw: 24018, S&W.mxd
X-Hot Draw: 24018, S&W.mxd
X-Hot Draw: 24018, S&W.mxd



Removals and Clearing Notes

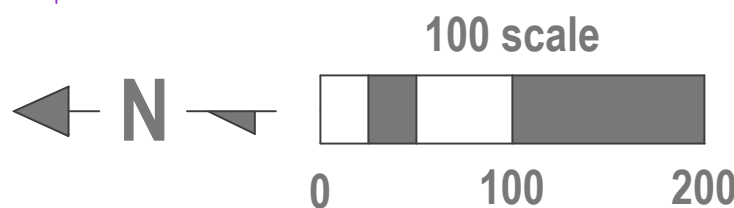
- All temporary erosions control measures shall be installed and inspected prior to the start of construction. Refer to sheet 3.1 for erosion prevention and sedimentation control measures utilized.
- Contractor shall obtain permits for demolition, removals, clearing, grubbing and disposal prior to the start of construction.
- Dimensions illustrating the limits of demolition and removals are approximate. Coordinate the actual limits of demolition with the proposed improvements.
- Schedule and complete public roadway demolition and replacement to minimize impacts to traffic.
- All lane closures and work within the public right-of-way shall be reported to the Town of Hammond and St. Croix County County 7 days prior to the start of construction.
- Emergency access shall through the construction areas shall be maintained throughout the course of construction.
- Contractor shall provide barricades, lights, signs traffic control and other measures necessary to ensure safe traffic flow during the course of construction.
- Features not designated to be removed shall be protected during the course of construction. Damage to features not designated for removal or altered as part of this project shall be repaired or replaced at no additional cost to the developer, city or county
- Trees designated for removal includes the root structure. Trees on or near the limits of grading or removals shall be saved unless noted otherwise on the plans. Trees and stumps may be ground onsite. Chipped materials shall not be mixed into subgrade materials under any structures.
- Contractor shall remove all features including, but not limited to underground utilities, fence, walls, footings, walls, lighting, signs, stairs, and landscaping within the grading and demolition limits unless otherwise noted on the plans.
- Coordinate removal, termination, and reuse of existing utilities and appurtenances with service providers. Restore all disturbed utilities or coordinate repair/replacement with the utility service providers.
- Exiting conduits and underground pipes may be abandon in-place if filled property with sand or flowable fill if the existing utilities are ore not in conflict with existing or proposed utilities or structures. Termination of a utility shall be completed in accordance with the utility service provider's standards.
- Demolition debris shall become property of the contractor unless noted otherwise on the plans. All construction debris shall be removed from the site to an approved location.
- Report the presence of wells and drain fields and septic tanks to the engineer and owner.


Existing Conditions Legend

- Section Line
- Property Line
- Adjacent Property Line
- ROW
- Existing Contour - Major
- Existing Contour - Minor
- Overhead Electric
- Underground Cable
- Storm
- Fence
- Guardrails on bridge
- Gravel
- Asphalt
- Concrete
- Utility Pole
- Electric Box
- Section Corner
- 1.3" outside diameter iron pipe found
- Found 1" outside diameter iron pipe
- Found 1-1/8" iron diameter rebar
- Found 3/4" iron diameter rebar
- 0.75" x 18" iron rebar weighing 1,502 lbs per linear foot set
- Chiseled "X" in rock
- Soil Test

Removals Legend

- Fence Removal
- Sawcut
- Area for Clearing and Grubbing



DRAWINGS BY	
<div> Land & Resource Consulting</div> <div>14260 23rd Ave N Plymouth, MN Phone: 763-340-0699</div>	
DRAWINGS FOR	
Cole Sutheimer P.O. Box 9 Roberts, WI 54023 Phone: 715-760-0867	
PROJECT	
Autumn Woods Town of Hammond, WI St. Croix County	
CERTIFICATION	
<div>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer in the laws of the State of Minnesota.</div> <div>RA: C. H. H. H. WI Lic. No. E-3471</div> <div>Date: _____</div> <div><div>PRELIMINARY NOT FOR CONSTRUCTION</div></div>	
ISSUED FOR	
ISSUE / REVISION	DATE
Preliminary Bid Set	12-31-2024
Preliminary Plat Application	01-31-2025
Town & County Review	02-10-2025
SUBMITTAL INFO	
Review By: RCH Project # : 24018 Submittal Date: 02-10-2025 Submittal Phase: Town & County Review	
SHEET TITLE	
Existing Conditions & Removals	
SHEET NUMBER	
C1.0	
Copyright Land & Resource Consulting	

DRAWINGS FOR

P.O. Box 9
Roberts, WI 54023
Phone: 715-760-0867

PROJECT

Town of Hammond, W
St. Croix County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

RANDALL C. HEDGECOCK
WI. LIC. NO. E-33812

Date:

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Bid Set	12-31-2024
Preliminary Plat Application	01-31-2025
Town & County Review	02-10-2025

SUBMITTAL INFO

Review By: RCH
Project # : 24018
Submittal Date: 02-10-2025
Submittal Phase: Town & County Review

SHEET TITLE

Preliminary Plat

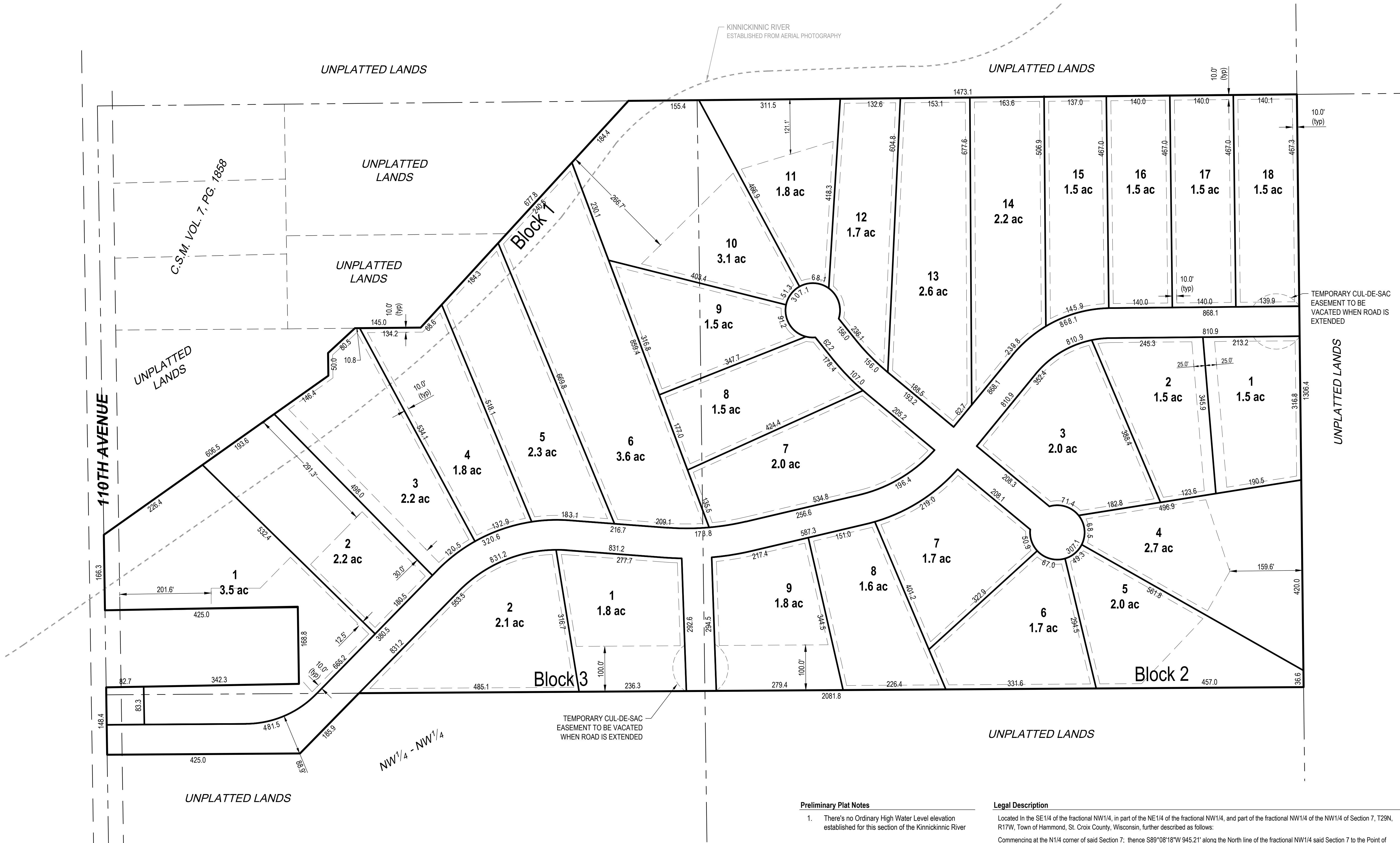
SHEET NUMBER

C2.0

Copyright Land & Resource Consulting



Know what's below
Call before you dig



Preliminary Plat Notes

1. There's no Ordinary High Water Level elevation established for this section of the Kinnickinnic River
2. There's no floodplain elevation established for this section of the Kinnickinnic River

Legal Description

Located in the SE1/4 of the fractional NW1/4, in part of the NE1/4 of the fractional NW1/4, and part of the fractional NW1/4 of the NW1/4 of Section 7, T29N R17W, Town of Hammond, St. Croix County, Wisconsin, further described as follows:

Commencing at the N1/4 corner of said Section 7; thence S89°08'18"W 945.21' along the North line of the fractional NW1/4 said Section 7 to the Point of Beginning of the lands to be described herein; thence continuing S89°08'18"W along said North line 166.28' to the East line of lot 1 of Certified Survey Map beginning in Volume 7, Page 1858 in the St. Croix County Register of Deeds Office; thence S01°02'12"E 425.00' along said East line to the South line of said lot 1; thence S89°08'18"W 170.00' along the South line of said lot 1 to the West line of said lot 1; thence N1°02'12"W 425.00' to said North line of the fractional NW1/4; thence S89°08'18"W 148.38' along said North line; thence S00°22'06"E 425.01' to a found 0.75" iron rebar; thence S45°36'54"E 185.88' to a found 0.75" iron rebar on the West line of the E1/2 of the fractional NW1/4; thence S00°22'06"E 2081.84' along said West line to the East - West Quarter Section Line of said Section 7; thence N88°20'37"E 1306.39' along said East - West 1/4 Section line to the North - South 1/4 Section line; thence N00°33'14"W 1473.15' along said North - South 1/4 Section line to a found 1" outside diameter iron pipe; thence N47°30'20"W 677.76' to a found 1.3" outside diameter iron pipe; thence N00°32'39"W 145.00' to a found 1.3" outside diameter iron pipe; thence N42°40'29"W 80.50' to a found 1.3" outside diameter iron pipe; thence S89°08'09"W 50.00' to a found 1.3" outside diameter iron pipe; thence N35°19'51"W 606.50' to the North line of the fractional NW1/4 and the Point of Beginning. This description contains 2,827.132 square feet (64.90 Acres) more or less and is subject to any easements, restrictions or covenants of record.



1. For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
2. Dimensions are to outside foundation wall, back of curb or edge of bituminous pavement unless noted otherwise on the drawings.
3. The building and structure location and orientation is shown on the plans in relation to the property boundary and right-of-way.
4. Building and structure dimensions are approximate. Architectural and structural plans shall be utilized to stake the new structures and buildings.
5. Erosion control and sedimentation control measures shall be installed and inspected prior to the start of construction.
6. Infrastructure shall be built in accordance with Town of Hammond and St. Croix County material and construction methods. In the event of a discrepancy, the Town and County Standards shall govern.
7. Improvements within the County right-of-way shall be constructed in accordance with County Construction Standards. In the event of a discrepancy, the County Standards shall govern.







Existing Zoning Designation: R-2 Residential

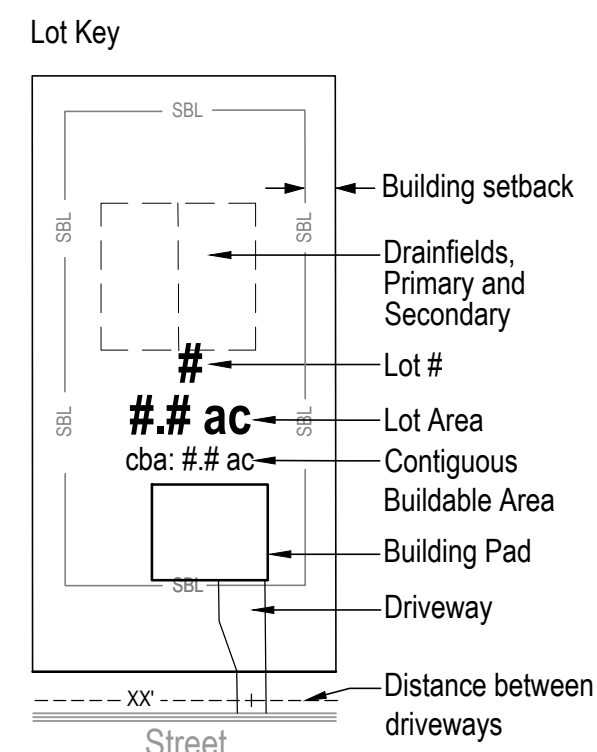
Minimum Lot Size: 1.5 acres with 2 acre average
Contiguous Buildable Area: 0.5 acres
Minimum Lot Width: n/a
Distance between Driveways: 200'
Lot Width and Depth: The ratio of depth to width shall not exceed 4:1 inclusive of ROW
Maximum Height: 2.5 stories or 35', whichever is less

Building Setback Requirements:
Front Yard: 50'
Rear Yard: 25'
Side Yard (Interior): 10'
Side Yard (Street): 50'

Existing:			
Pervious:	2,827,000 sf	64.9 ac	100.0%
Impervious:	0 sf	0.0 ac	00.0%
Total	2,827,000 sf	64.9 ac	100.0%
<hr/>			
Proposed:			
Pervious:	2,502,500 sf	57.4 ac	88.4 %
Impervious:	324,500 sf	7.5 ac	11.6 %
Total	2,827,000 sf	64.9 ac	100.0%

————— SBL ————— **Building Setback Line**

-  Bituminous
-  Gravel
-  Existing slopes greater than 25%
-  Contiguous buildable area
-  Zone A
-  FEMA Floodplain



Drawings: C:\Users\jg247019_Summer\Autumn Woods\Hammond\WIP\Production\Sheet Drawings\24018.C3.Dwg
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General Grading & Erosion Control Notes

- For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
- Erosion control measures shall be installed prior to the start of construction.
- Install inlet protection: Wimco RD or CG models or approved equal. Inspect, clean and maintain inlet protection though the course of construction.
- Soil disturbance and grading practices shall be minimized and staged as much as possible. Restoration and stabilization shall be installed in accordance with the SWPPP time requirements or sooner.
- All erosion control practices shown are to be considered the minimum. Additional erosion control practices, measures and materials may be necessary to stabilize sediment within the construction site during during construction.
- All grading, erosion/sedimentation control shall be in accordance with the minimum SWPPP notes on Sheet 3.2.
- Infiltration areas shall be protected during the course of construction to prevent migration of sediment into the infiltration areas. Sediment must be removed from the basin bottom and the surface shall be roughed and scarified to achieve the original infiltration rates.

General Grading & Erosion Control Notes

8. Surface stabilization and turf shall meet the following standards:

Item	WISDOT Specification Number
Sod	WISDOT 631
Seed	WISDOT 630
Apply WISDOT 20 @ 43.5 lb./acre - Temp. Erosion Control (May 1 - July 31)	
Apply WISDOT 20 @ 43.5 lb./acre - Temp. Erosion Control (Aug. 1 - Oct. 31)	
Apply WISDOT 40 @ 87 lb./acre - Permanent Turf	

Mulch	WISDOT 627
	WISDOT (STRAW) @ 2 ton/acre - Disc anchored

Erosion Control Blanket	WISDOT 328
-------------------------	------------

Fertilizer	WISDOT 629
------------	------------

9. Refer to Geotechnical Investigation completed by Advanced Environmental dated 12/18/2024 for grading, backfill, soil corrections, compaction and groundwater conditions. Contact Advanced Environmental during the course of construction to perform material and compaction testing.

10. Clear and grub construction area. Stockpile topsoil for reuse.

11. Once the curb and gutter has been installed, place silt fence or and approved equivalent at the back of the curb

General Grading & Erosion Control Notes

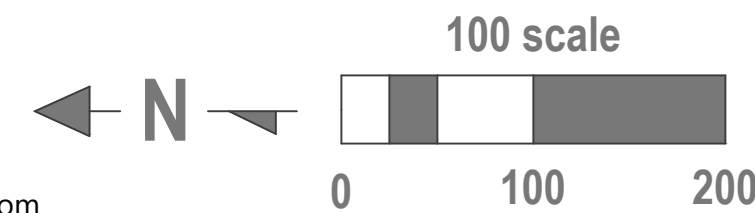
- There's no Ordinary High Water level elevation established for this section of the Kinnickinnic River.
- There's no floodplain elevation established for this section of the Kinnickinnic River.
- Topsoil stripped from the subdivision will not be removed from the subdivision until final land contours, topsoil finishing and seeding is successfully completed.

Infiltration Basin & Testing

- Install erosion control fencing as shown prior to the start of construction.
- Avoid soil compaction of infiltration basin area. Equipment within infiltration basin shall be light weight and tracked.
- The bottom of the infiltration basin shall be scarified to a depth of 12" prior to topsoil and seeding.
- The contractor shall engage a third party material testing consultant to confirm the following:
 - The infiltration rates meet or exceed the rates for each basin as outlined in the project storm water narrative using a double-ring infiltrometer.
 - Contact the engineer and owner if any rates do not meet or exceed design parameters.
 - The frequency of the infiltration tests shall be established by the governing agency.
- Contractor shall excavate and remove any existing silty soils above existing sandy loam or sandy layer in basin bottom and replace with existing on-site sand material.

Legend

900	Proposed Contour
	Vehicle Tracking Pad
SF	Silt Fence
>>	Storm Sewer
	Drainage Easement
SB-#	Soil Test



DRAWINGS BY

LRC
Land & Resource Consulting
14260 23rd Ave N
Plymouth, MN
Phone: 763-340-0699

DRAWINGS FOR

Cole Sutheimer

P.O. Box 9
Roberts, WI 54023
Phone: 715-760-0867

PROJECT

Autumn Woods

Town of Hammond, WI
St. Croix County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the laws of the State of Minnesota.

RA: LRC C. H. H. 1000
WI License No. E-30170

Date: _____

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Bid Set	12-31-2024
Preliminary Plat Application	01-31-2025
Town & County Review	02-10-2025

SUBMITTAL INFO

Review By: RCH
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SHEET TITLE

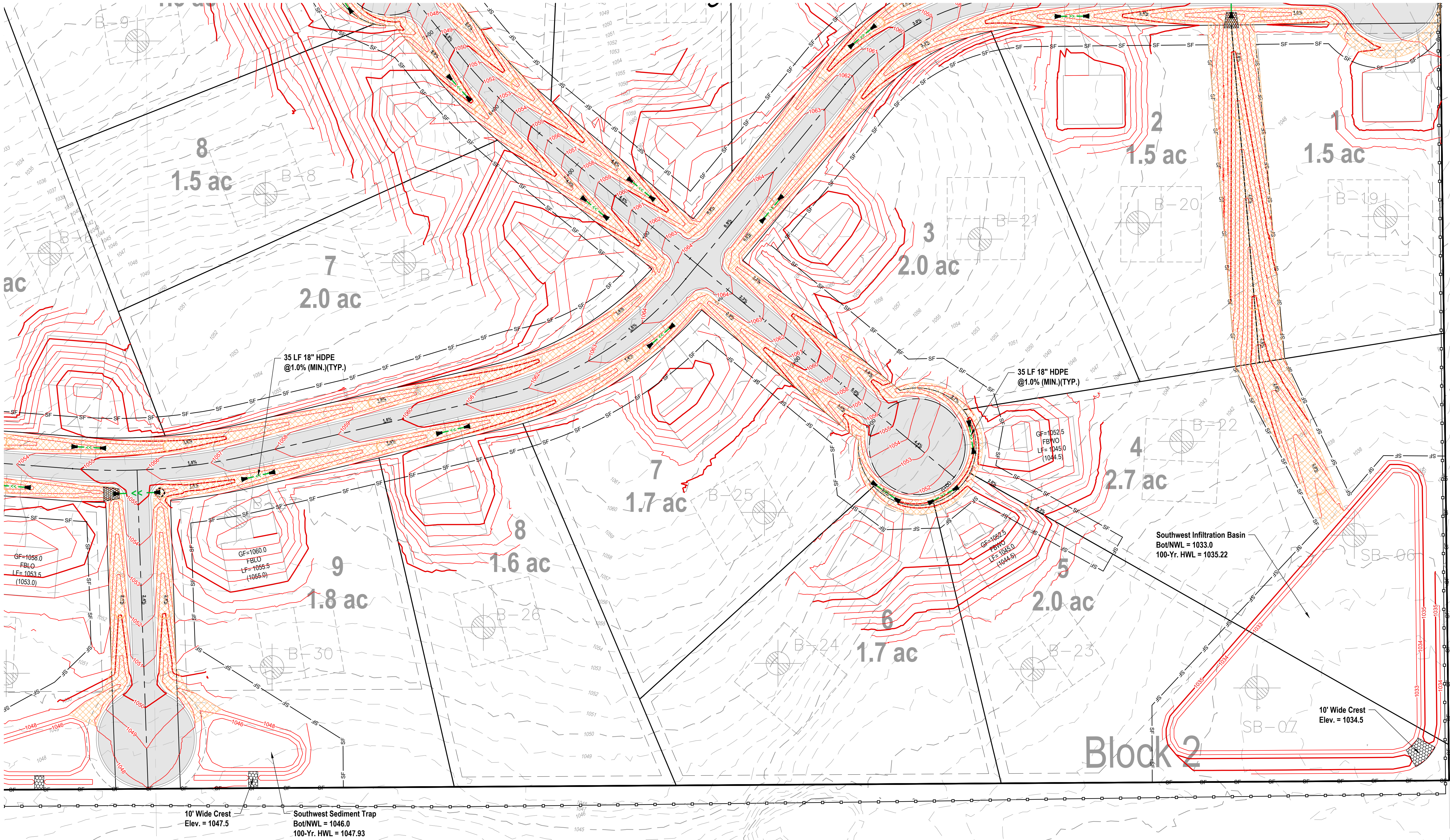
Grading Plan

SHEET NUMBER

C3.0

Copyright Land & Resource Consulting

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Utility Notes

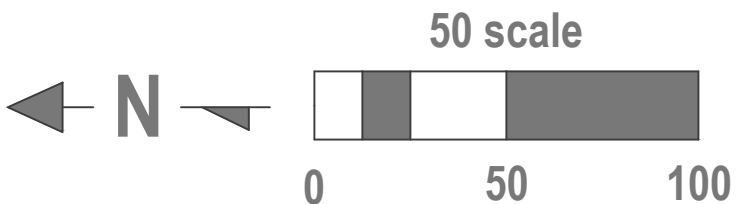
- Erosion control measures shall be installed prior to the start of construction.
- Obtain all necessary permits prior to the start of construction.
- Contact all utility service providers a minimum of 72 hours prior to the start of construction.
- Pipe Materials
Storm Sewer: Corrugated Steel or HDPE
- Driveway culverts shall be installed and properly sized (18" Min.) at the land owners discretion if and when a lot is purchased and permitted for construction.
- Contractor shall field verify horizontal and vertical location of all utilities prior to the start of construction.
- Contractor shall investigate, excavate and expose existing utilities at crossings and potential conflicts prior to the start of utility installation. Report inconsistencies to the engineer and owner immediately.
- Pipe lengths on the plans are measures from center of structure to center of structure.
- Tracer wire shall be installed for all non-conductive underground utilities in accordance with Hammond Standards.
- Compaction and backfill shall be in accordance with the geotechnical investigation and the Hammond construction and design practices.
- Testing frequency shall be in accordance with the geotechnical engineer and Hammond Standards.

General Grading & Erosion Control Notes

- For surveying and construction staking, contact Land & Resource Consulting 763.340.0699
- Refer to Sheet C3.0 for all general Grading, Erosion Control, and Infiltration Basin Notes.

Legend

- | | | |
|---------------------------|--------------------------|---|
| 900 | Proposed Contour | Erosion Control Mat - WISDOT CIII, Type B |
| Inlet Protection | Riprap Overflow Spillway | Silt Fence |
| Ditch Check/Sediment Roll | Storm Sewer | Drainage Easement |
| Flared End Section | | |
| Soil Test | | |



DRAWINGS BY

LRC
Land & Resource Consulting
14260 23rd Ave N
Plymouth, MN
Phone: 763-340-0699

DRAWINGS FOR

Cole Sutheimer

P.O. Box 9
Roberts, WI 54023
Phone: 715-760-0867

PROJECT

Autumn Woods

Town of Hammond, WI
St. Croix County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer in the laws of the State of Minnesota.

DATE: 02-10-2025

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SUBMITTAL INFO

Review By: RCH
Project #: 24010
Submittal Date: 02-10-2025
Submittal Phase: Town & County Review

SHEET TITLE

Enlarged - Grading, Erosion, & Storm Plan

SHEET NUMBER

C3.2

Copyright Land & Resource Consulting

PRELIMINARY NOT FOR CONSTRUCTION



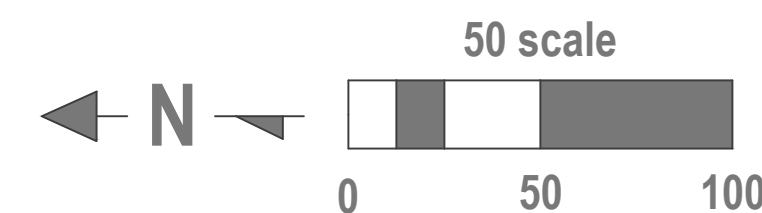
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|----|---|-----|---|
| 1. | Erosion control measures shall be installed prior to the start of construction. | 7. | Contractor shall investigate, excavate and expose existing utilities at crossings and potential conflicts prior to the start of utility installation. Report inconsistencies to the engineer and owner immediately. |
| 2. | Obtain all necessary permits prior to the start of construction. | 8. | Pipe lengths on the plans are measures from center of structure to center of structure. |
| 3. | Contact all utility service providers a minimum of 72 hours prior to the start of construction. | 9. | Tracer wire shall be installed for all non-conductive underground utilities in accordance with Hammond Standards. |
| 4. | Pipe Materials | 10. | Compaction and backfill shall be in accordance with the geotechnical investigation and the Hammond construction and design practices. |
| | Storm Sewer: Corrugated Steel or HDPE | 11. | Testing frequency shall be in accordance with the geotechnical engineer and Hammond Standards. |
| 5. | Driveway culverts shall be installed and properly sized (18" Min.) at the land owners discretion if and when a lot is purchased and permitted for construction. | | |
| 6. | Contractor shall field verify horizontal and vertical location of all utilities prior to the start of construction. | | |

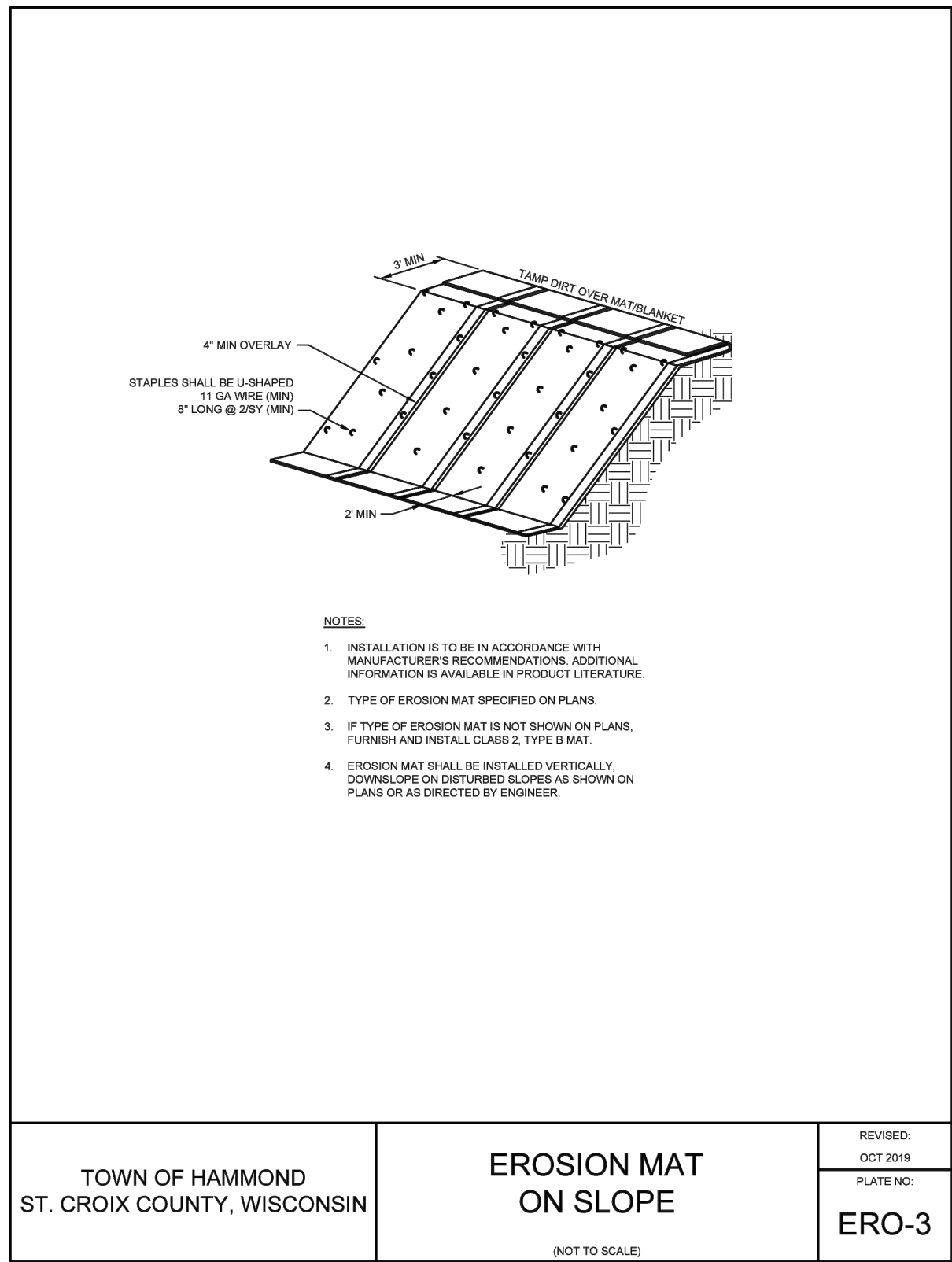
General Grading & Erosion Control Notes

1. For surveying and construction staking, contact Land & Resource Consulting 763.340.0699
2. Refer to Sheet C3.0 for all general Grading, Erosion Control, and Infiltration Basin Notes.

Legend

-





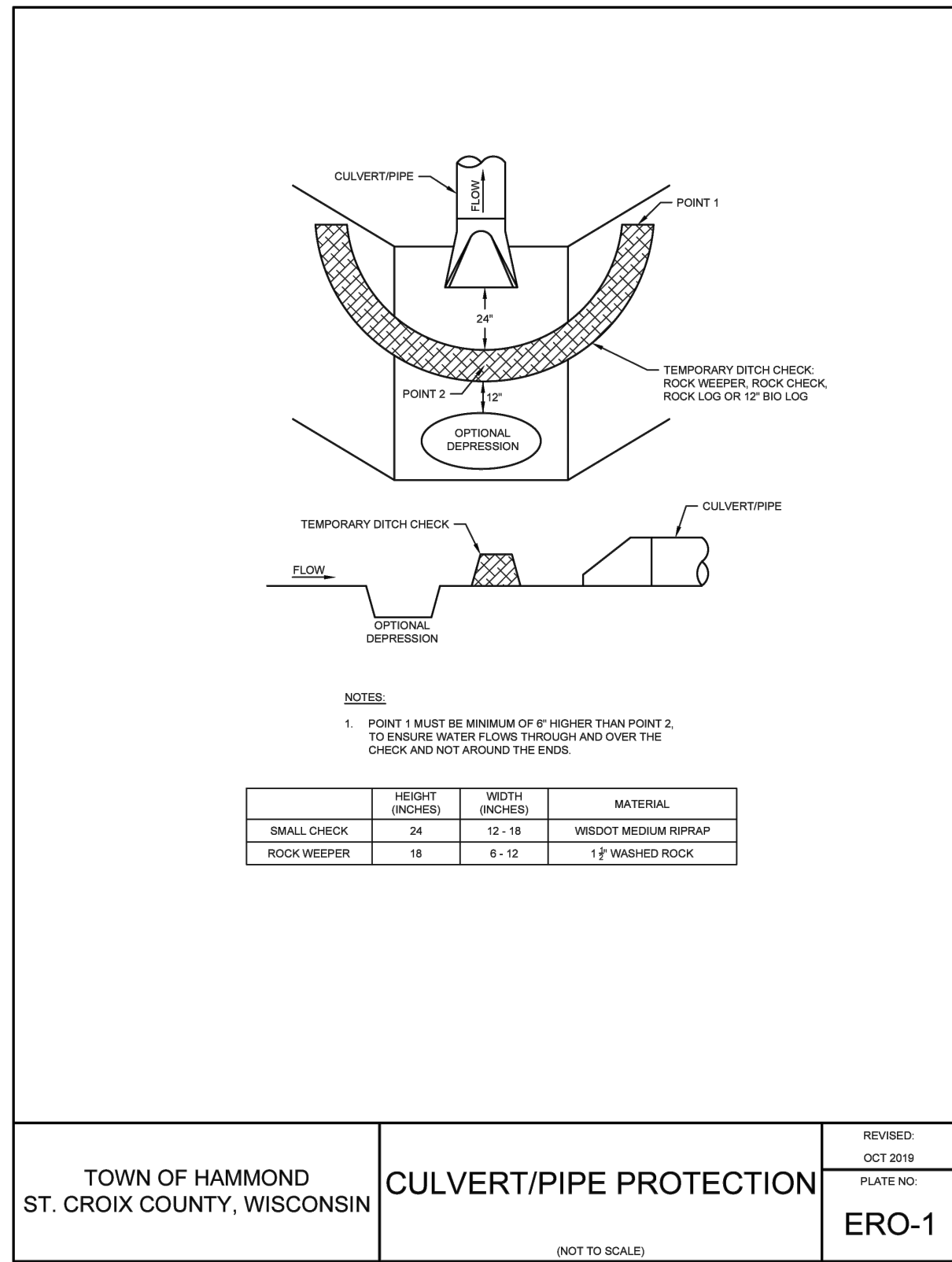
TOWN OF HAMMOND
ST. CROIX COUNTY, WISCONSIN

EROSION MAT
ON SLOPE
(NOT TO SCALE)

REVISED:
OCT 2019
PLATE NO:
ERO-3

5

EROSION MAT ON SLOPE
NO SCALE



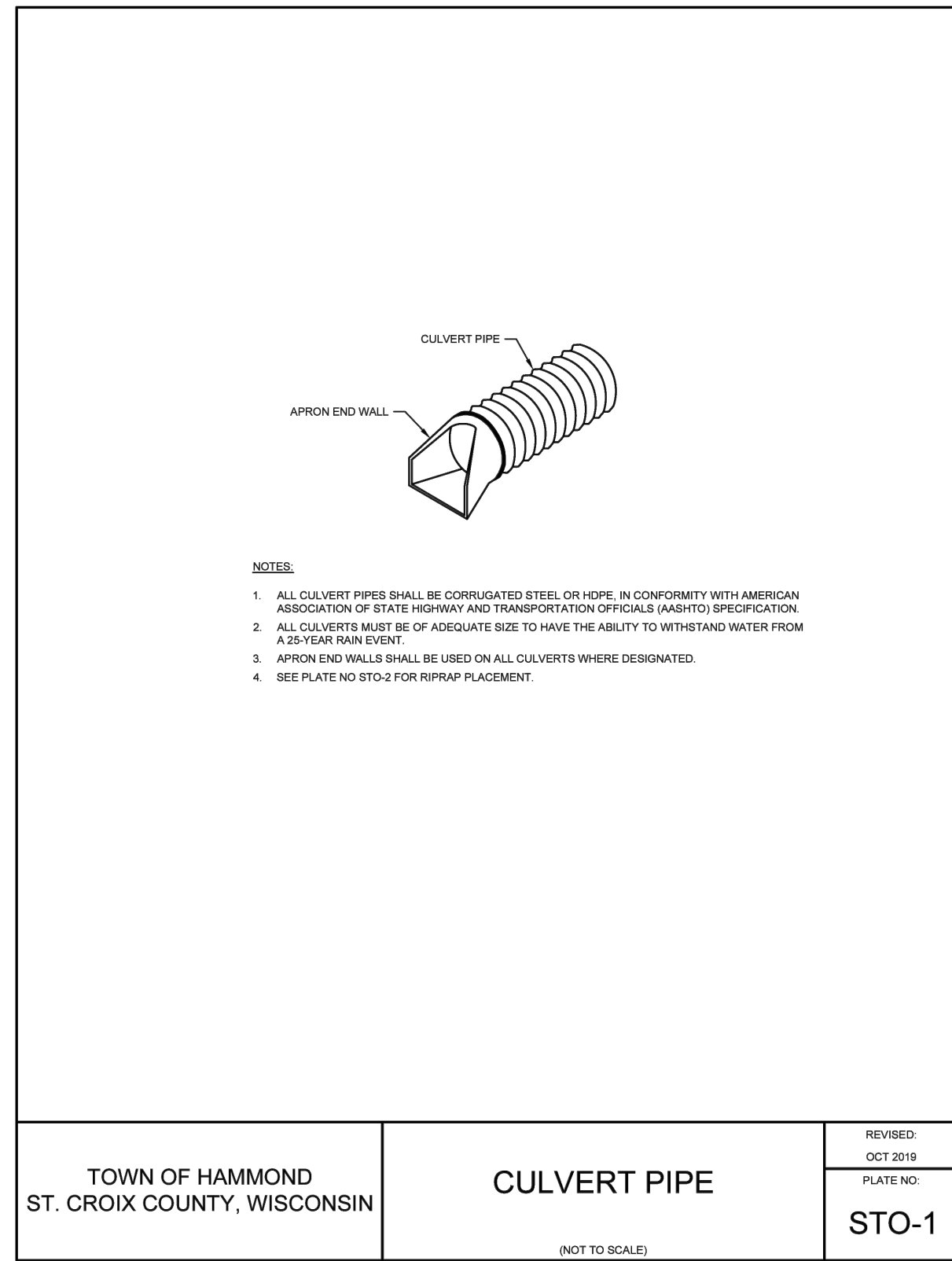
TOWN OF HAMMOND
ST. CROIX COUNTY, WISCONSIN

CULVERT/PIPE PROTECTION
(NOT TO SCALE)

REVISED:
OCT 2019
PLATE NO:
ERO-1

3

CULVERT/PIPE PROTECTION
NO SCALE



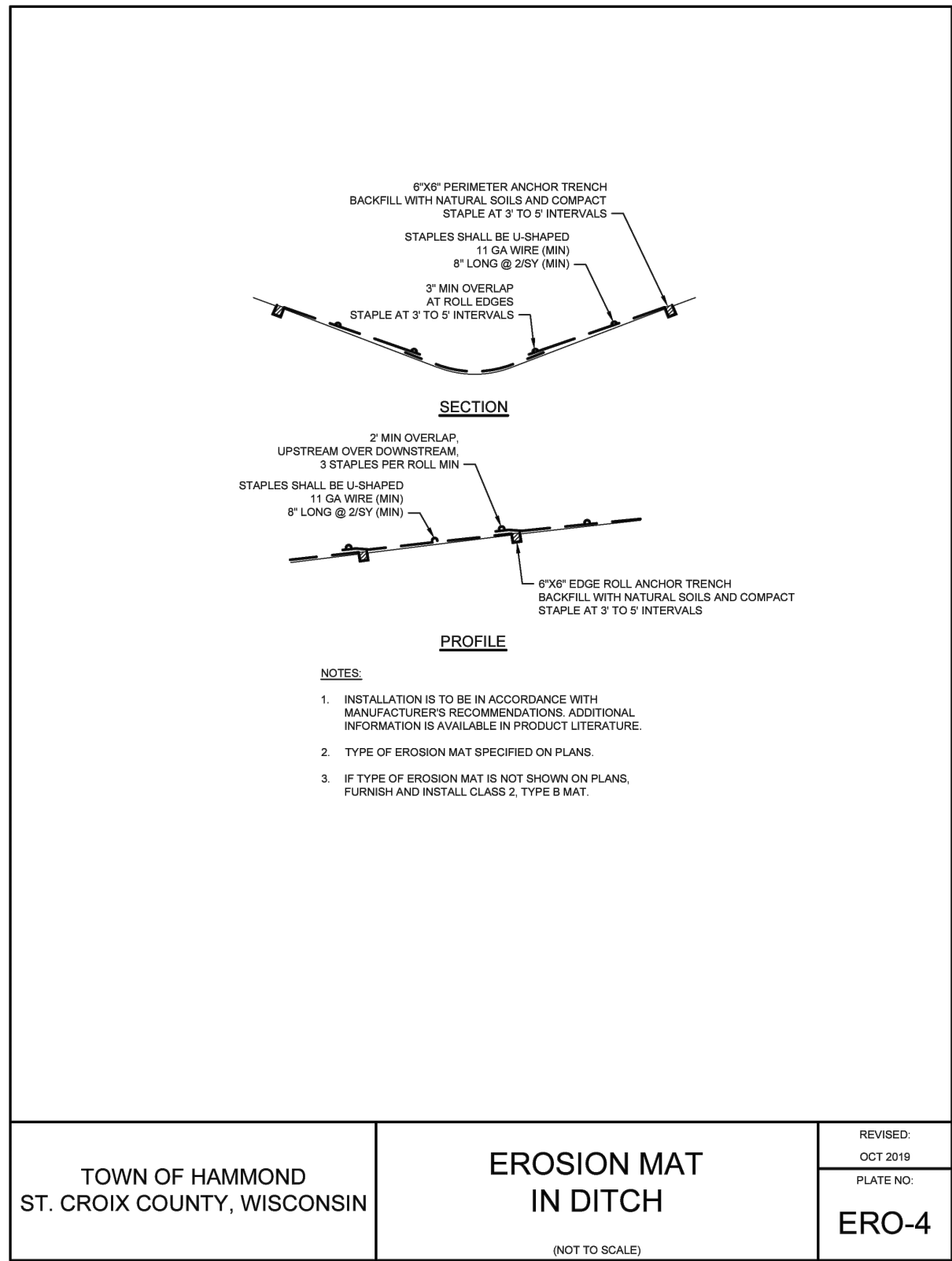
TOWN OF HAMMOND
ST. CROIX COUNTY, WISCONSIN

CULVERT PIPE
(NOT TO SCALE)

REVISED:
OCT 2019
PLATE NO:
STO-1

1

CULVERT PIPE
NO SCALE



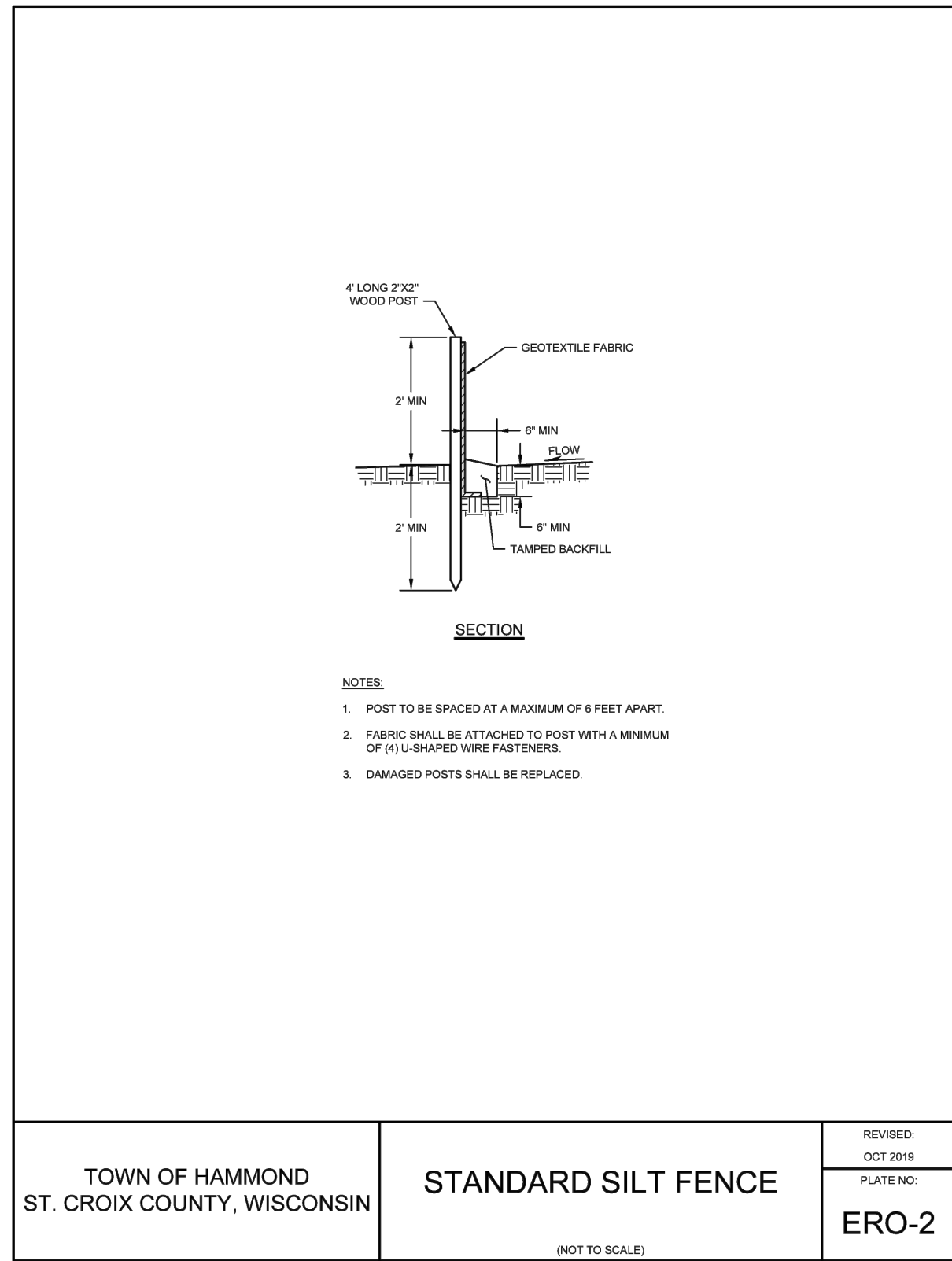
TOWN OF HAMMOND
ST. CROIX COUNTY, WISCONSIN

EROSION MAT
IN DITCH
(NOT TO SCALE)

REVISED:
OCT 2019
PLATE NO:
ERO-4

6

EROSION MAT IN DITCH
NO SCALE



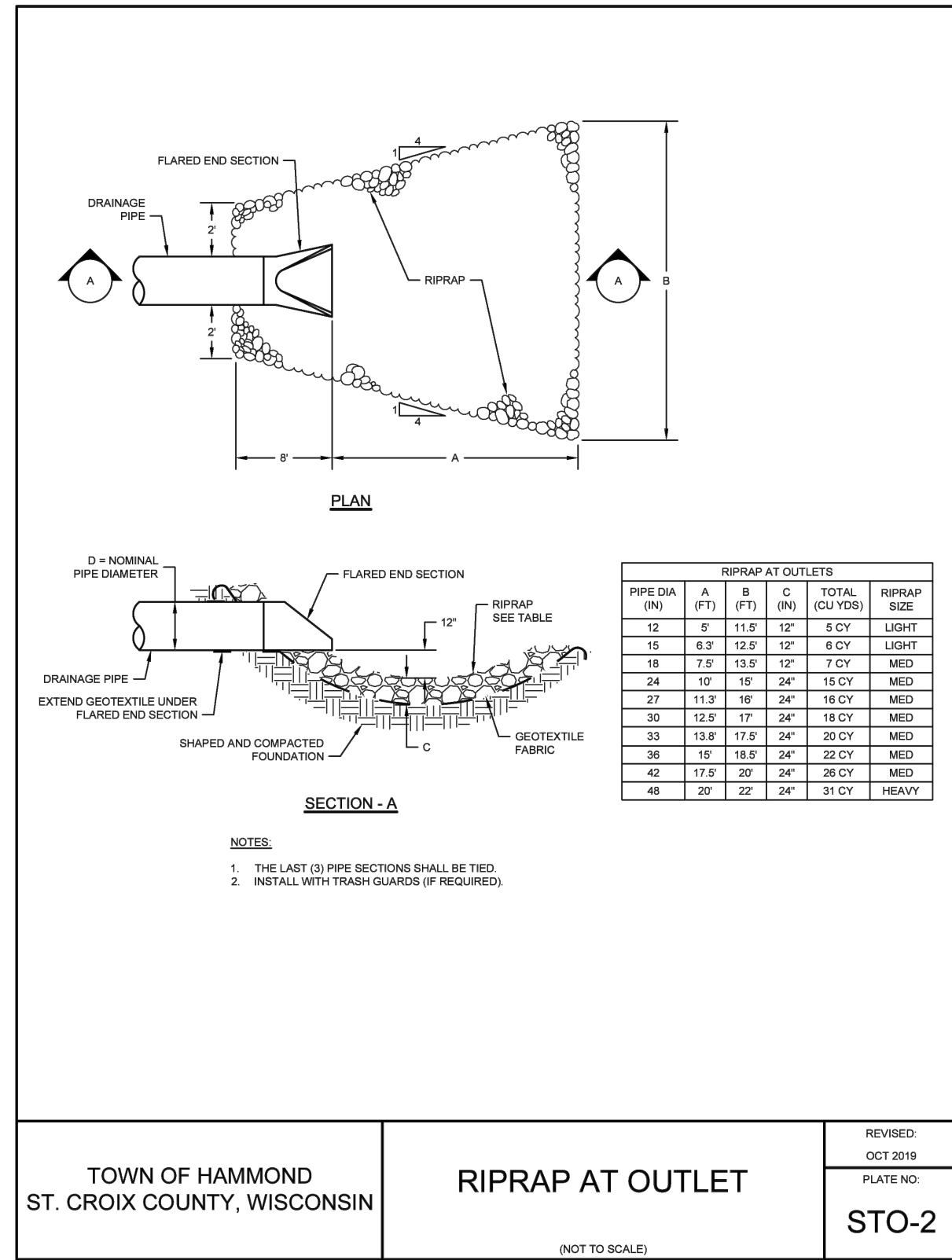
TOWN OF HAMMOND
ST. CROIX COUNTY, WISCONSIN

STANDARD SILT FENCE
(NOT TO SCALE)

REVISED:
OCT 2019
PLATE NO:
ERO-2

4

STANDARD SILT FENCE
NO SCALE



TOWN OF HAMMOND
ST. CROIX COUNTY, WISCONSIN

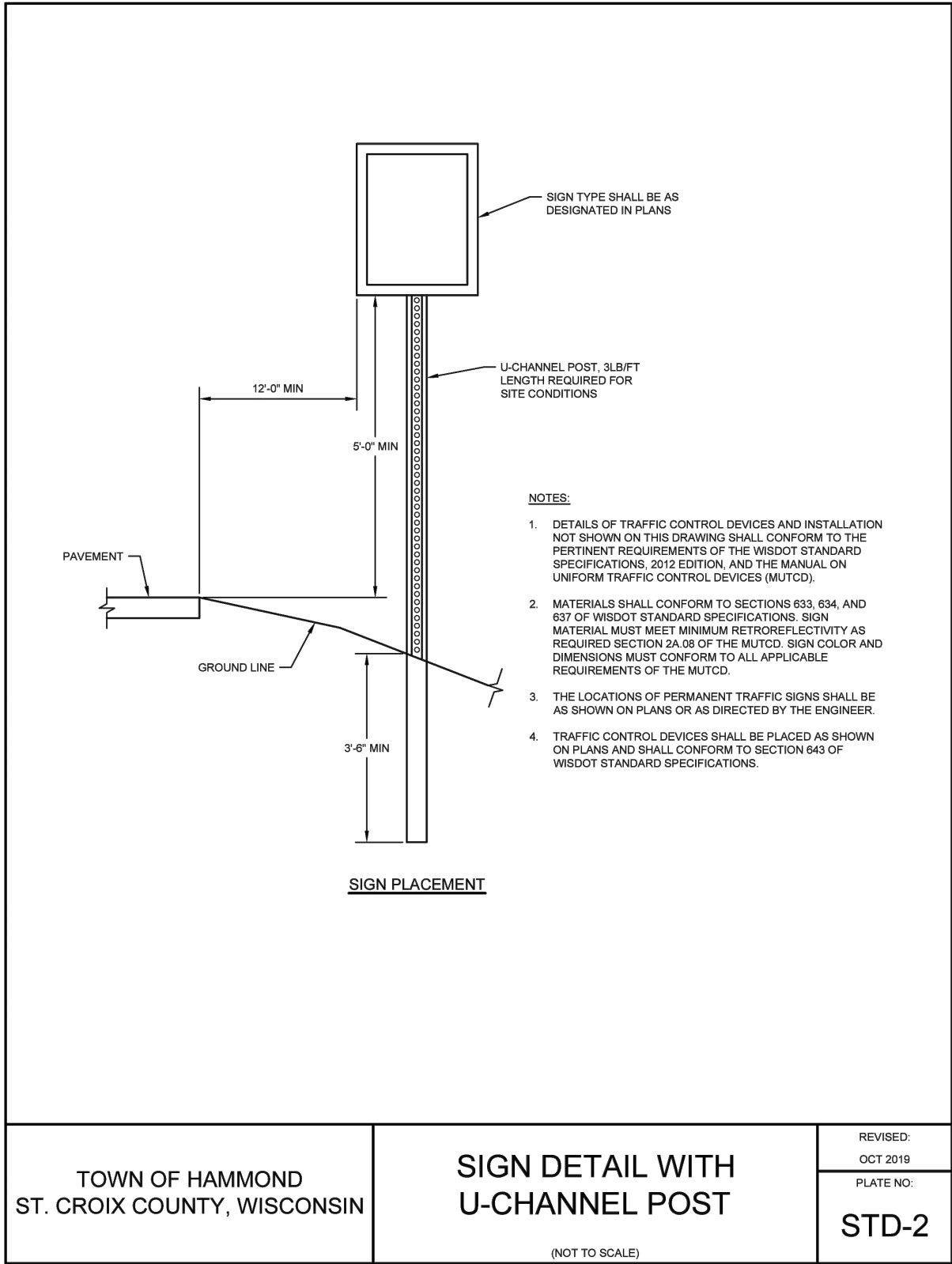
RIPRAP AT OUTLET
(NOT TO SCALE)

REVISED:
OCT 2019
PLATE NO:
STO-2

2

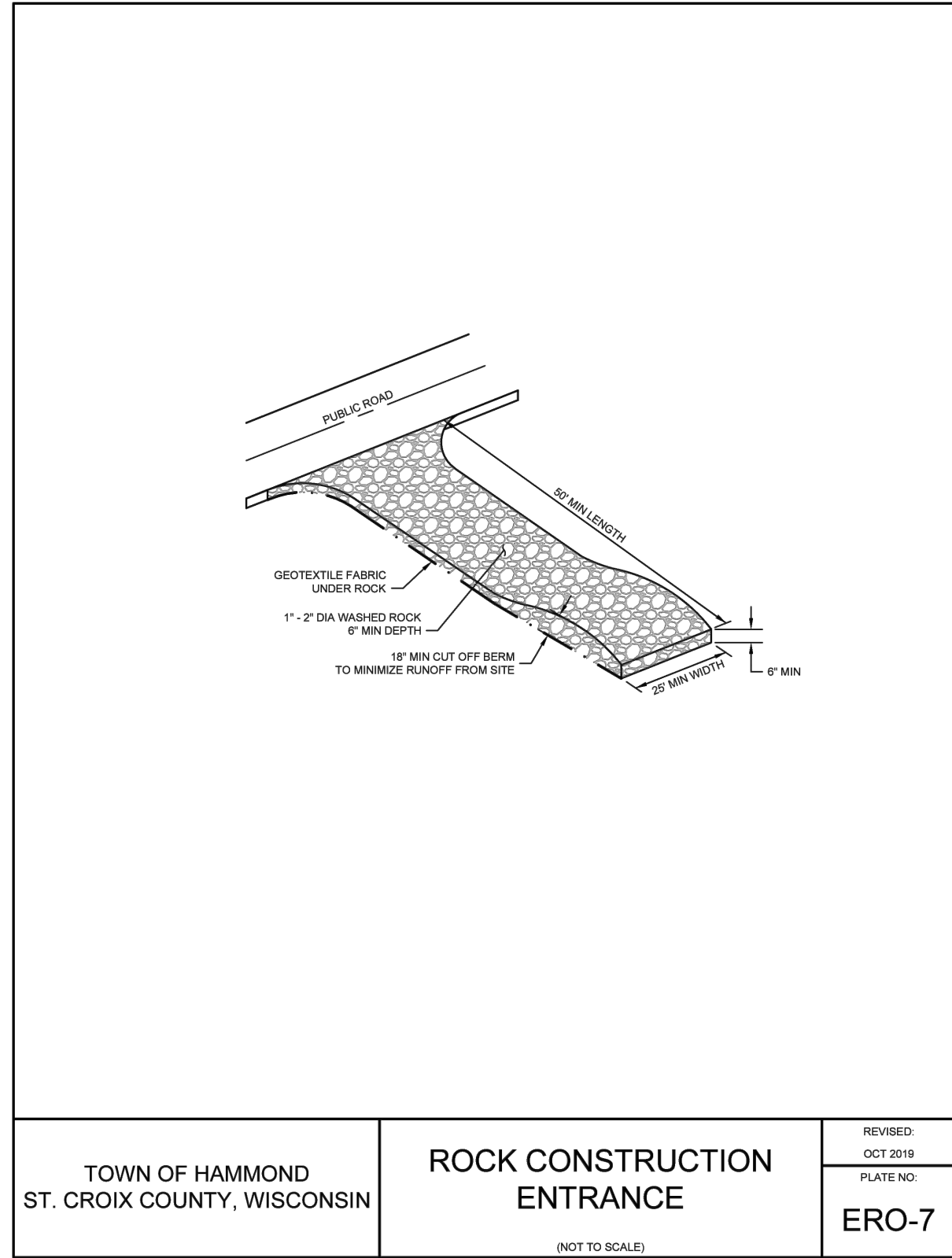
RIP RAP AT OUTLET
NO SCALE

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Drawing 24018
Date: Feb 03, 2023, 5:11pm
X-Ref: Dwg 24018 - Barrier.dwg



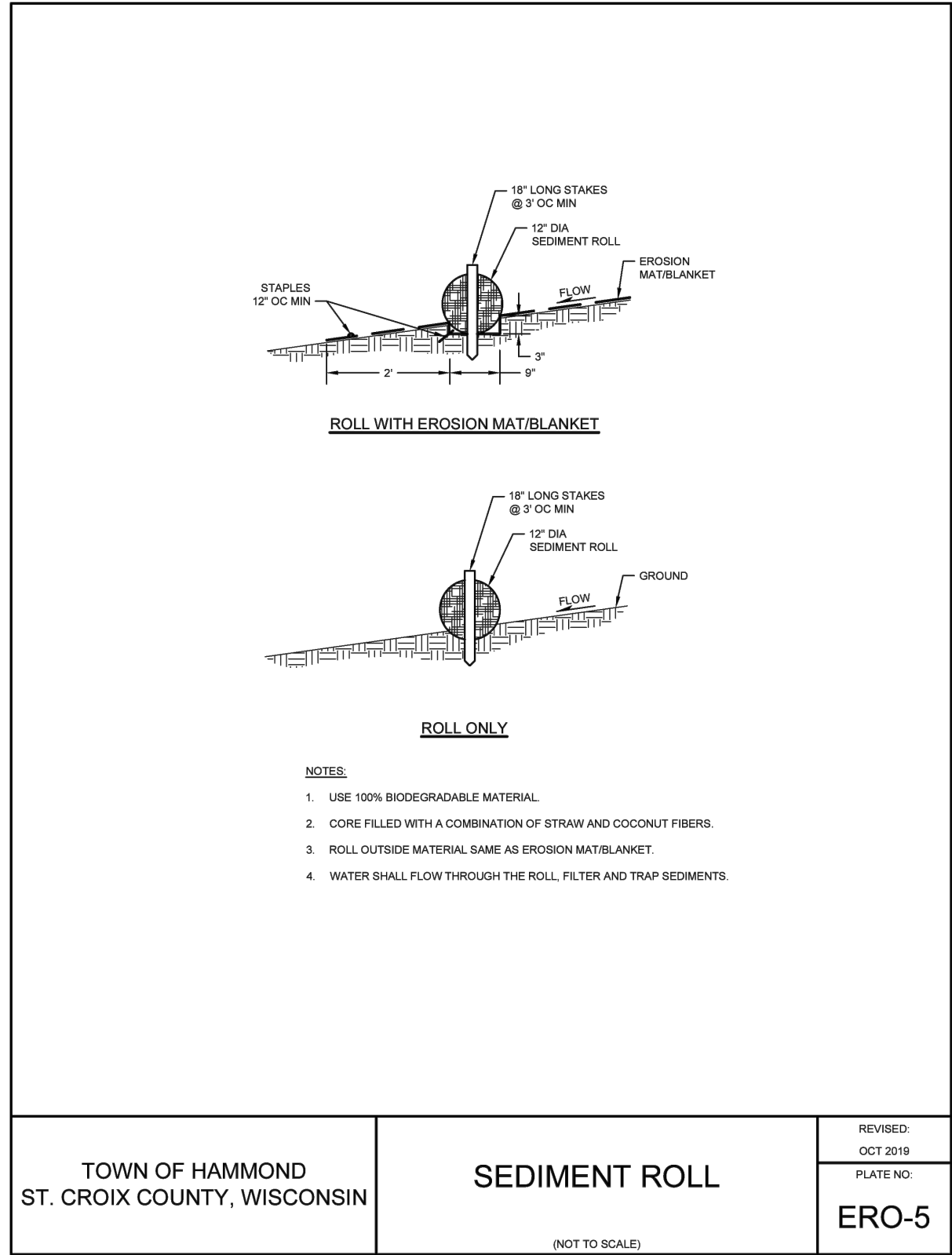
TOWN OF HAMMOND ST. CROIX COUNTY, WISCONSIN	SIGN DETAIL WITH U-CHANNEL POST	REVISED: OCT 2019 PLATE NO: STD-2
(NOT TO SCALE)		

5 SIGN DETAIL WITH U-CHANNEL POST
NO SCALE



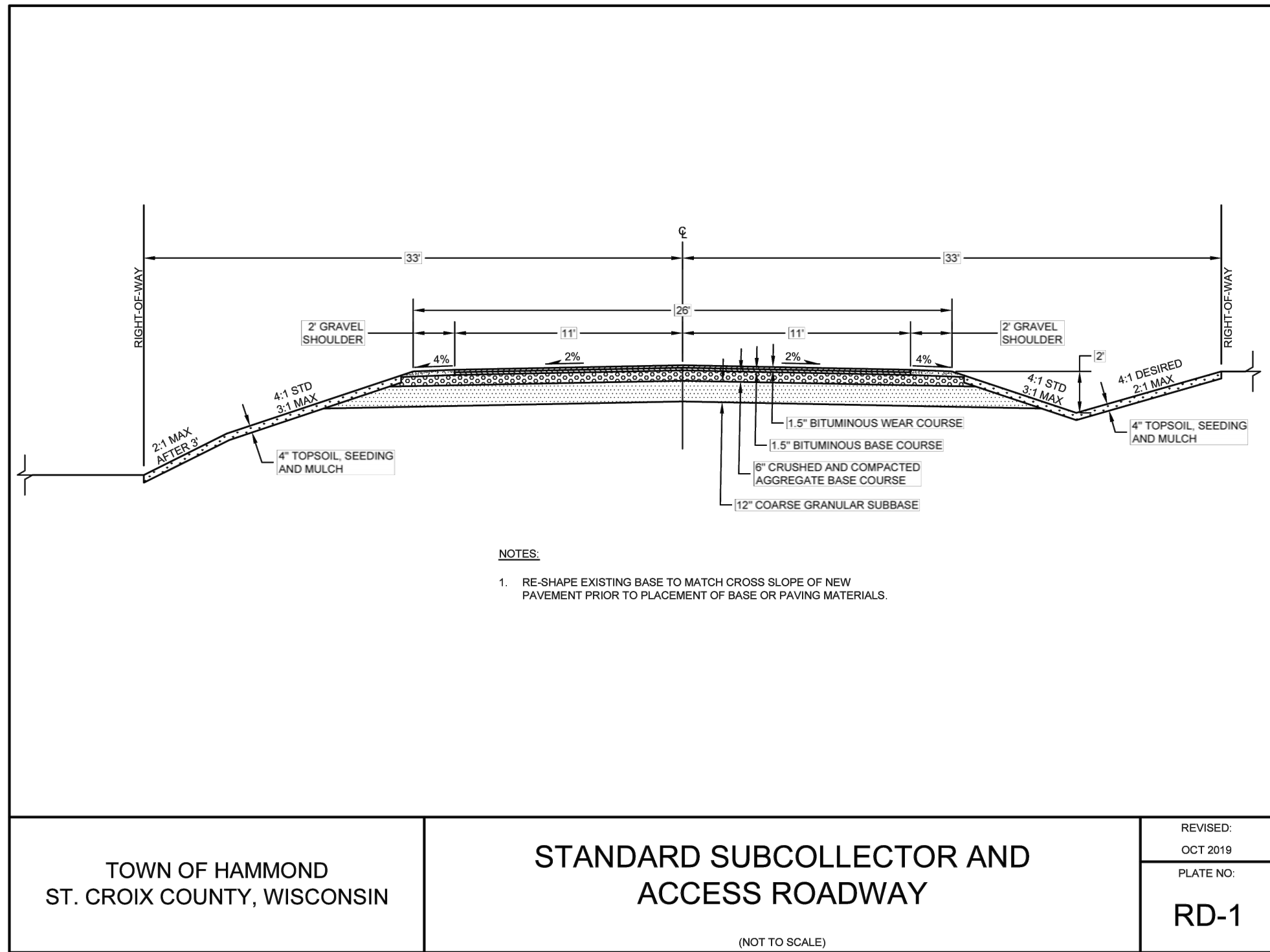
TOWN OF HAMMOND ST. CROIX COUNTY, WISCONSIN	ROCK CONSTRUCTION ENTRANCE	REVISED: OCT 2019 PLATE NO: ERO-7
(NOT TO SCALE)		

3 ROCK CONSTRUCTION ENTRANCE
NO SCALE



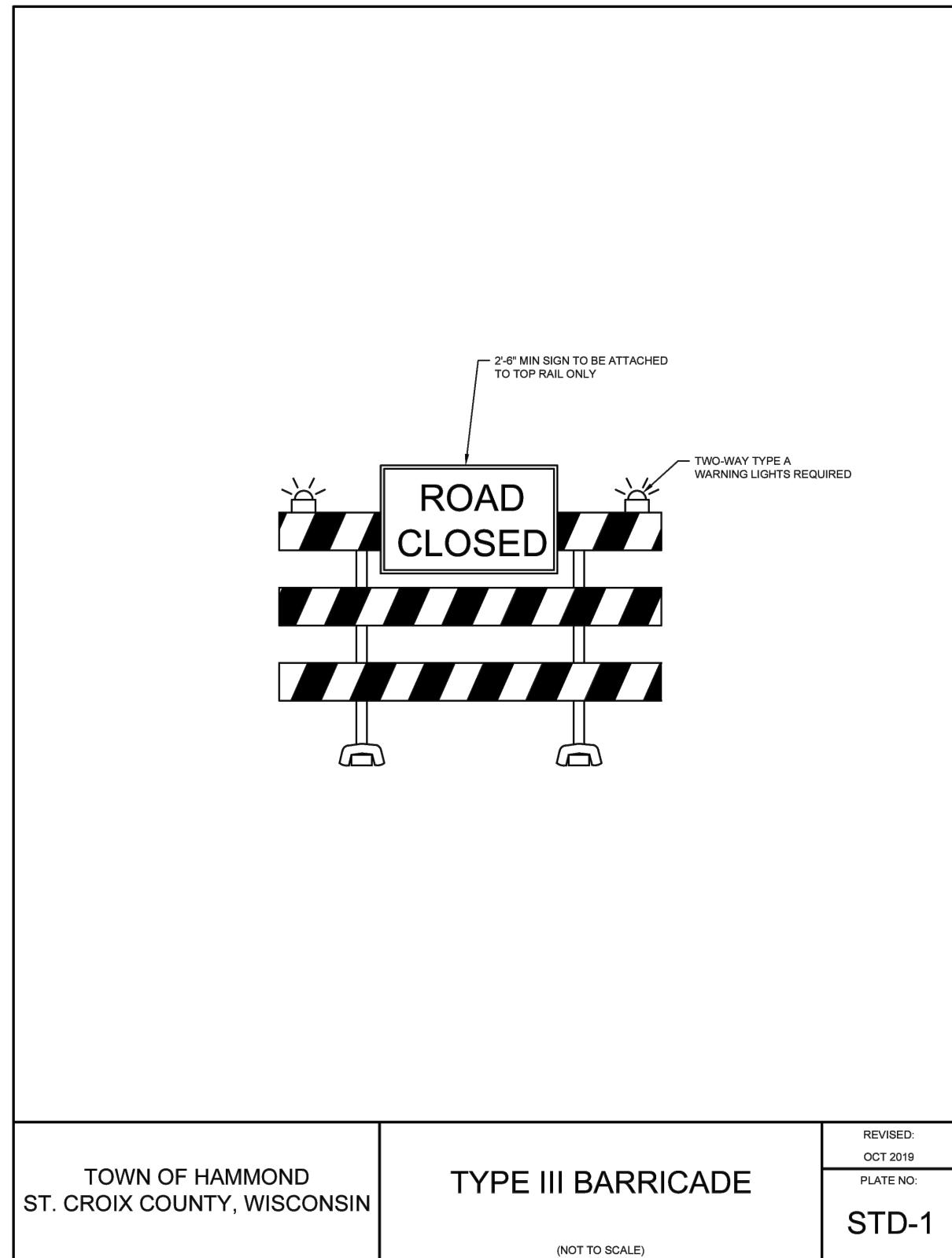
TOWN OF HAMMOND ST. CROIX COUNTY, WISCONSIN	SEDIMENT ROLL	REVISED: OCT 2019 PLATE NO: ERO-5
(NOT TO SCALE)		

1 SEDIMENT ROLL
NO SCALE



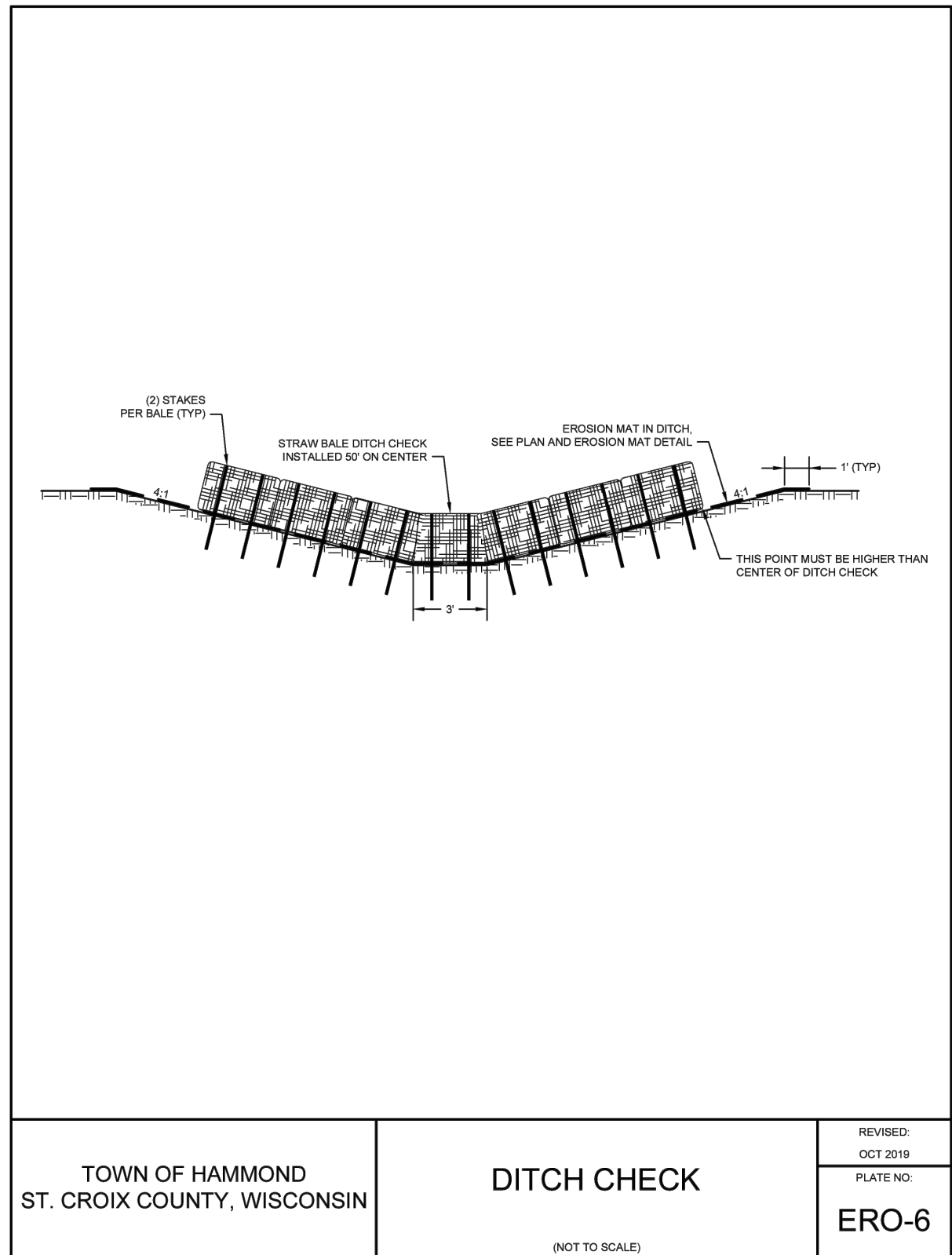
TOWN OF HAMMOND ST. CROIX COUNTY, WISCONSIN	STANDARD SUBCOLLECTOR AND ACCESS ROADWAY	REVISED: OCT 2019 PLATE NO: RD-1
(NOT TO SCALE)		

6 STANDARD SUBCOLLECTOR AND ACCESS ROADWAY
NO SCALE



TOWN OF HAMMOND ST. CROIX COUNTY, WISCONSIN	TYPE III BARRICADE	REVISED: OCT 2019 PLATE NO: STD-1
(NOT TO SCALE)		

4 TYPE III BARRICADE
NO SCALE



TOWN OF HAMMOND ST. CROIX COUNTY, WISCONSIN	DITCH CHECK	REVISED: OCT 2019 PLATE NO: ERO-6
(NOT TO SCALE)		

2 DITCH CHECK
NO SCALE

DRAWINGS BY

LRC

Land & Resource Consulting

14260 23rd Ave N
Plymouth, MN
Phone: 763-340-0699

DRAWINGS FOR

Cole Sutheimer

P.O. Box 9
Roberts, WI 54023
Phone: 715-760-0867

PROJECT

Autumn Woods

Town of Hammond, WI
St. Croix County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer in the laws of the State of Minnesota.

RA: C. H. H. NO. E-34710

WISCONSIN

PRELIMINARY NOT FOR CONSTRUCTION

Date: _____

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Bid Set	12-31-2024
Preliminary Plat Application	01-31-2025
Town & County Review	02-10-2025

SUBMITTAL INFO

Review By: RCH
Project # : 24018
Submittal Date: 02-10-2025
Submittal Phase: Town & County Review

SHEET TITLE

Civil Details

SHEET NUMBER

C7.1

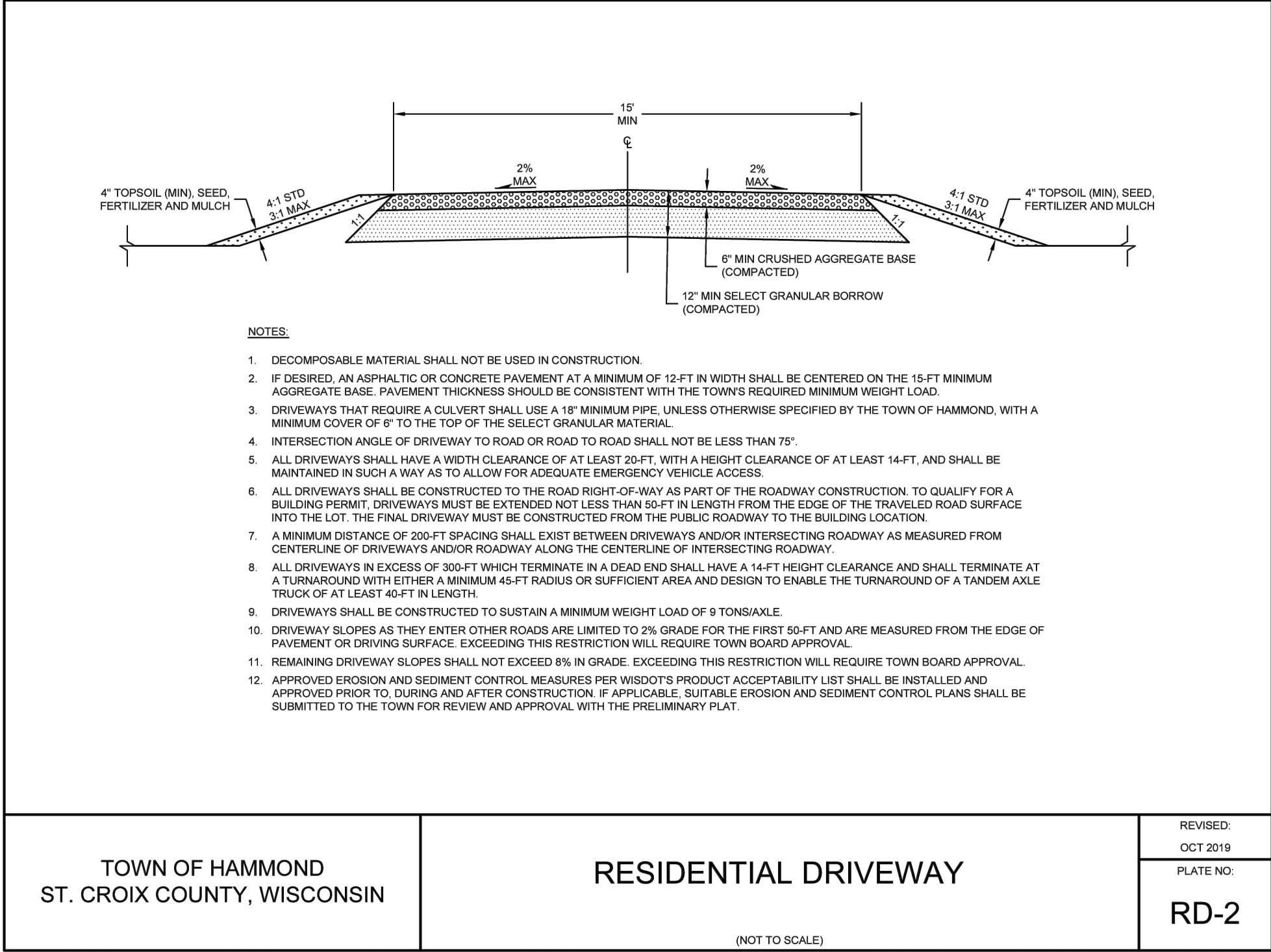
Copyright Land & Resource Consulting

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Date: Feb 03, 2023, 5:11pm
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RESIDENTIAL DRIVEWAY

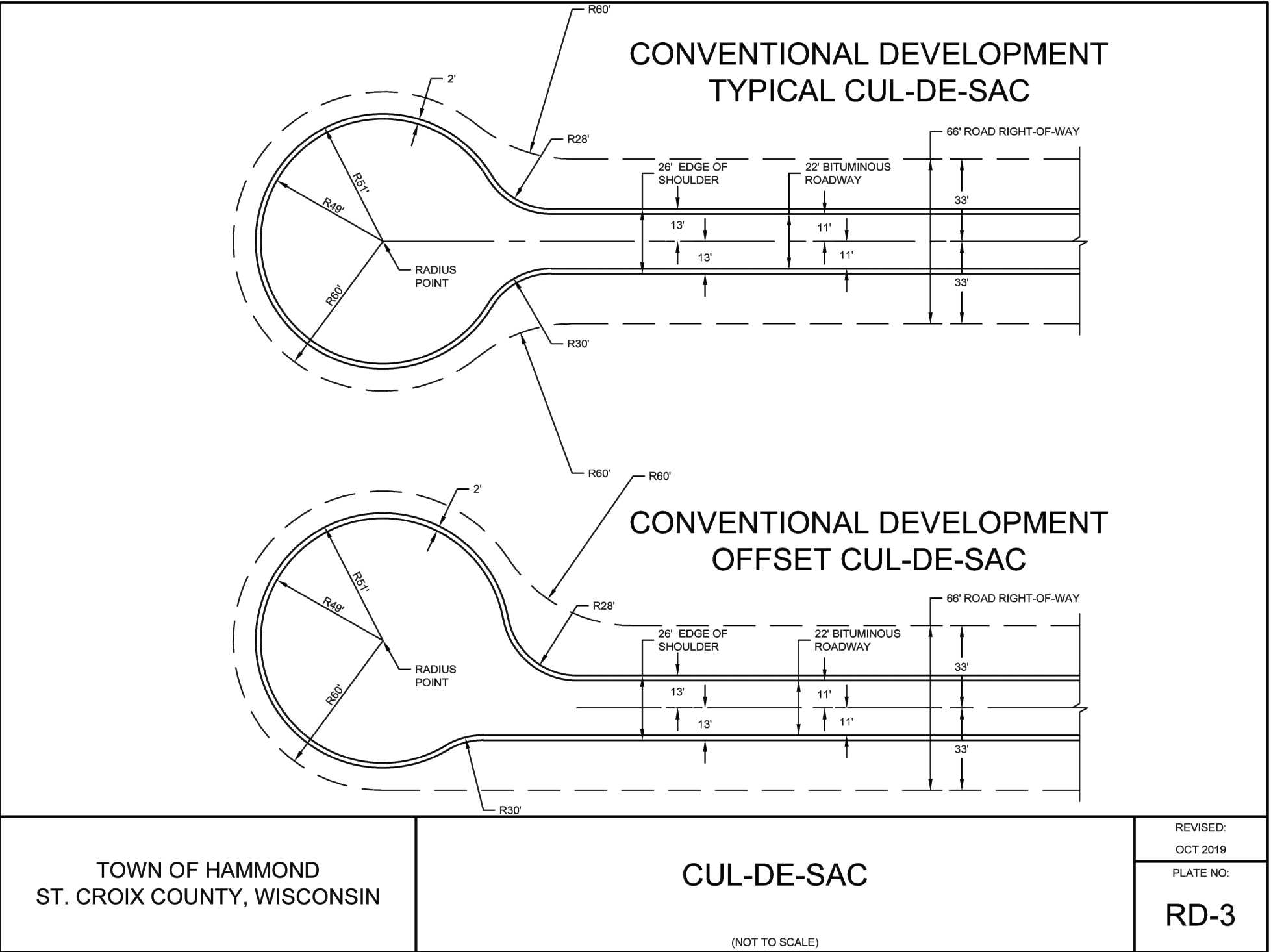
NO SCALE



2

CUL-DE-SAC

NO SCALE



DRAWINGS BY



14260 23rd Ave N
Plymouth, MN
Phone: 763-340-0699

DRAWINGS FOR

Cole Sutheimer

P.O. Box 9
Roberts, WI 54023
Phone: 715-760-0867

PROJECT

Autumn Woods

Town of Hammond, WI
St. Croix County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the laws of the State of Minnesota.

RAJESH C. HATHIBAB
WI LIC. NO. E-33710

Date: _____

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Bid Set	12-31-2024
Preliminary Plat Application	01-31-2025
Town & County Review	02-10-2025

SUBMITTAL INFO

Review By: RCH
Project # : 24018
Submittal Date: 02-10-2025
Submittal Phase: Town & County Review

SHEET TITLE

Civil Details

SHEET NUMBER

C7.2

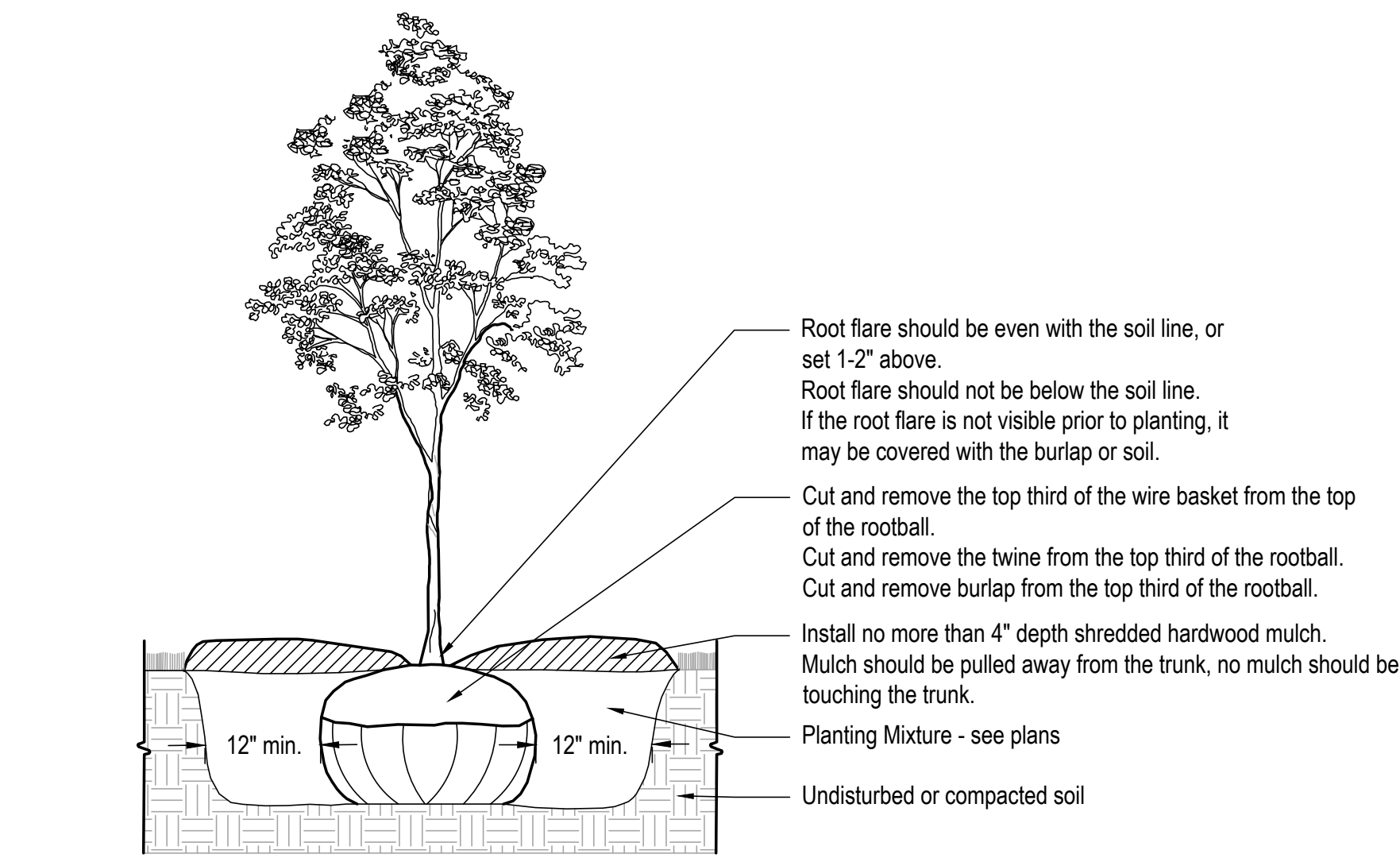
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1. Landscape contractor shall visit the site prior to submitting bid to become completely familiar with site conditions.
2. It is the responsibility of the owner & contractor to identify all underground cables and utilities on the property.
3. Coordinate installation with Contractors performing related work.
4. No planting will be installed until all grading and construction has been completed in immediate area.
5. Place trees according to layout with the proper spacing. If the contractor feels an error has been made regarding spacing or hardness of a species of plant material indicated on the plan, notify the landscape architect prior to the installation of the plant material.
6. All newly installed plant material shall be planted in well-drained areas, contractor shall avoid installing any plant material in drainage swales or wet or poorly drained areas.
7. All planting areas with groundcover, perennials, or annuals shall receive a minimum of 8" settled depth of planting soil. Planting soil shall consist of 45% topsoil, 45% peat or manure, and 10% clean sand, thoroughly mixed.
8. Areas being seeded - follow MnDOT Seeding Manual for seeding instructions for establishment of native seed and provide coordination for required erosion prevention and sediment control.
9. Install 2" - 3" deep of shredded hardwood mulch in planting beds.

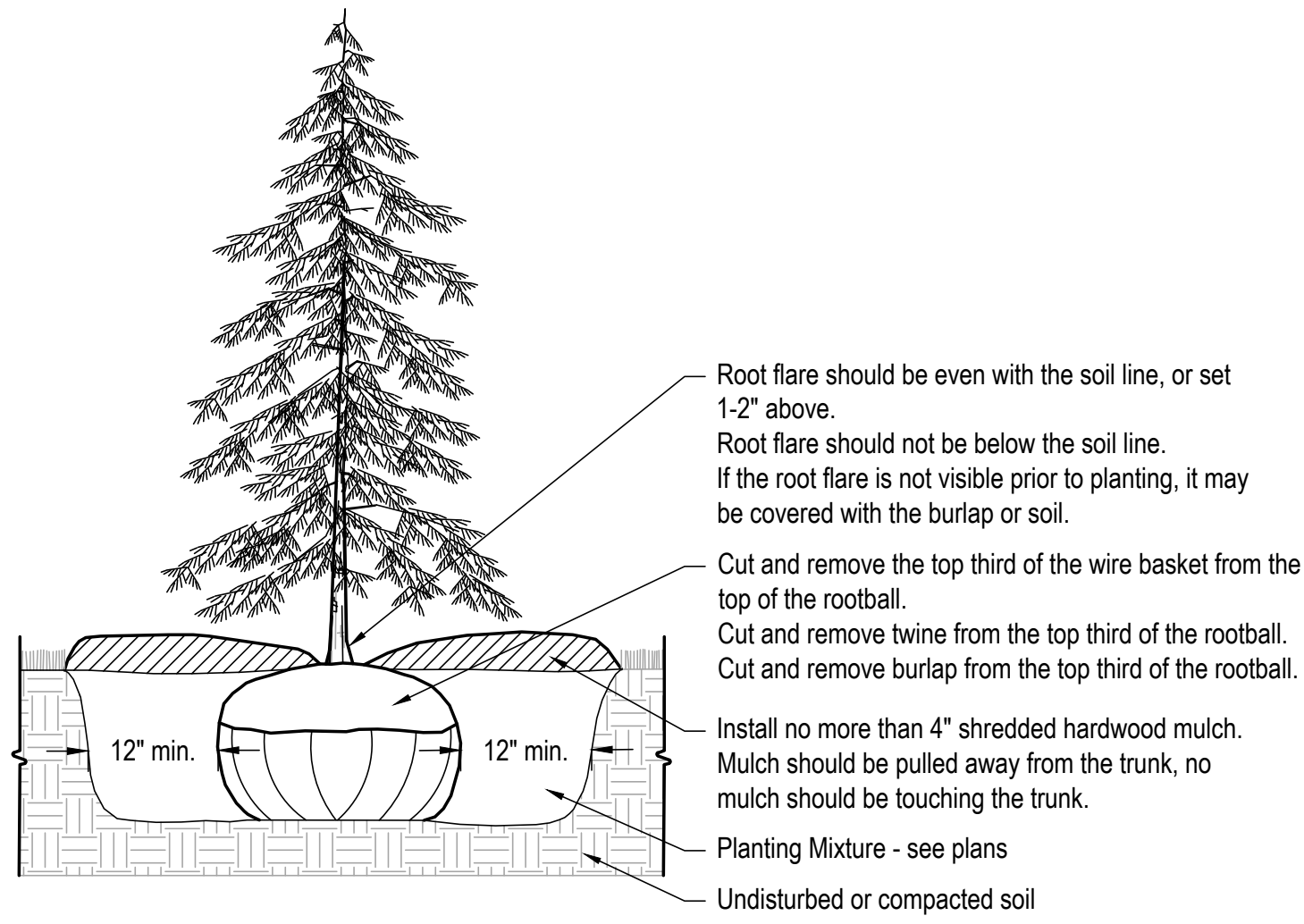
- 
- Know what's below.
Call before you dig.**

ISSUE / REVISION	DATE
Preliminary Bid Set	12-31-2024
Preliminary Plat Application	01-31-2025
Town & County Review	02-10-2025


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1 DECIDUOUS TREE PLANTING
NO SCALE



2 CONIFEROUS TREE PLANTING
NO SCALE

DRAWINGS BY								
<div><div><div><div>Land & Resource Consulting</div><div>14260 23rd Ave N Plymouth, MN Phone: 763-340-0699</div></div></div></div>								
DRAWINGS FOR								
<div><div>Cole Sutheimer</div><div>P.O. Box 9 Roberts, WI 54023 Phone: 715-760-0867</div></div>								
PROJECT								
<div><div>Autumn Woods</div><div>Town of Hammond, WI St. Croix County</div></div>								
CERTIFICATION								
<div><div>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer in the laws of the State of Minnesota.</div><div><div>RAJESH C. HEMCHAND</div><div>WI Lic. NO. E-35170</div></div><div>Date: _____</div></div>								
ISSUED FOR								
<table><tr><th>ISSUE / REVISION</th><th>DATE</th></tr><tr><td>Preliminary Bid Set</td><td>12-31-2024</td></tr><tr><td>Preliminary Plat Application</td><td>01-31-2025</td></tr><tr><td>Town & County Review</td><td>02-10-2025</td></tr></table>	ISSUE / REVISION	DATE	Preliminary Bid Set	12-31-2024	Preliminary Plat Application	01-31-2025	Town & County Review	02-10-2025
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